



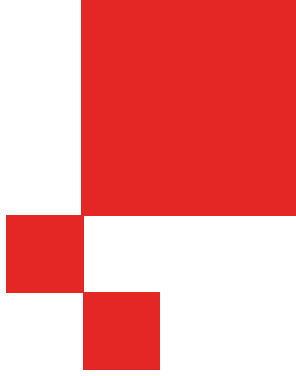
UDO Update City of Holland

Presentation to Planning Commission

March 10, 2020

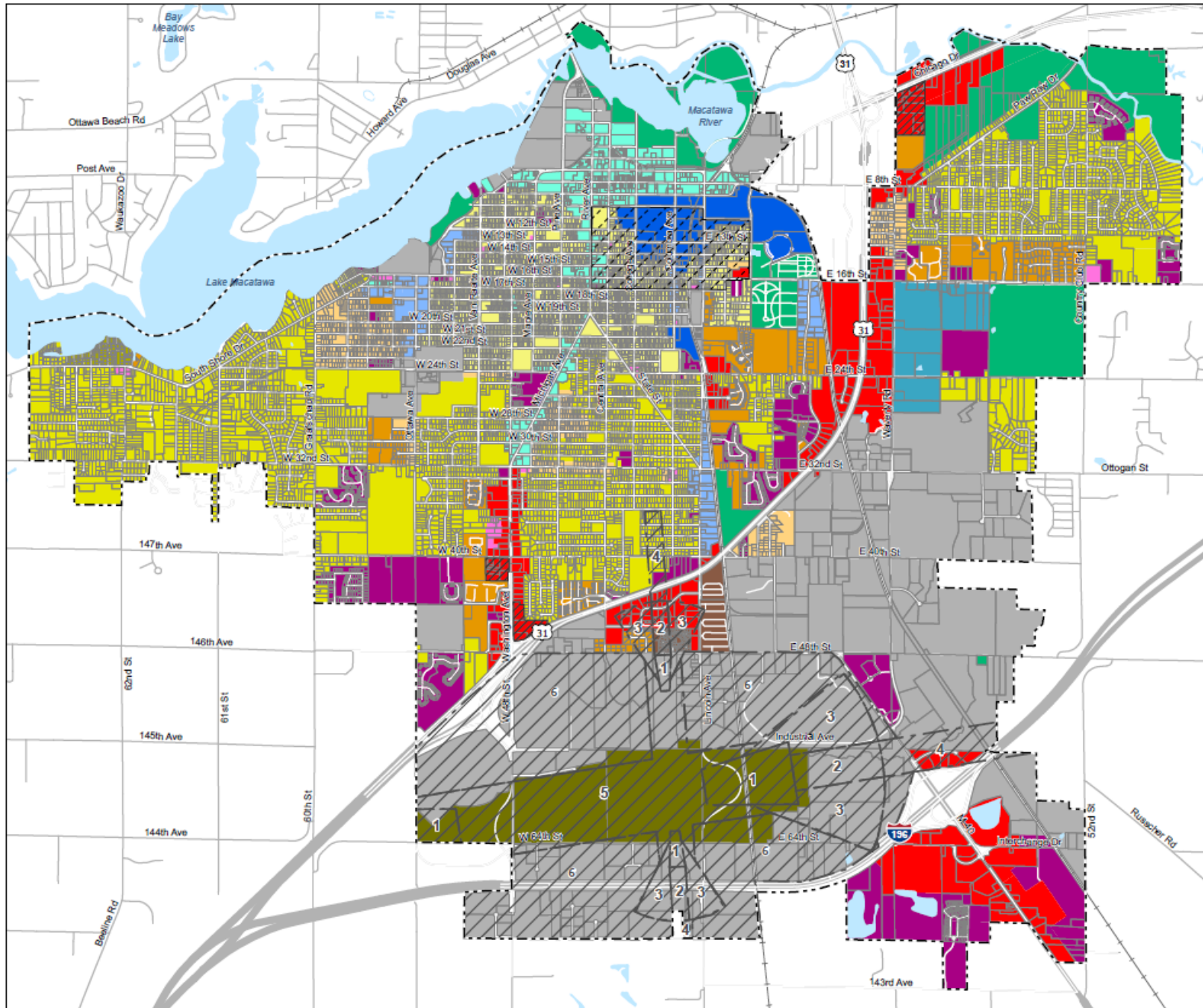
Tonight's Topics

- **UDO vs Current Ordinance**
 - **Zoning Districts**
 - **Parking**
 - **Signage**
- **Next Steps**
 - **Planning Commission Review Period**
 - **Public Rollout**
 - **Adoption**





Zoning Districts








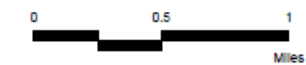
MAP 1 Zoning Map Draft

City of Holland, Michigan

February 13, 2020

LEGEND

-  City Boundary
-  FBC Form Based Code
-  OS Open Space
-  RTRN Traditional Residential
-  R-1 One Family Residential
-  RTCD Traditional Cottage District
-  R-2 One & Two Family Residential
-  R-3 Multi-Family
-  R-4 Mobile Home Park
-  NMU Neighborhood Mixed Use
-  CMU Corridor Mixed Use
-  PUD Planned Unit Development
-  GMU Greenfield Mixed Use
-  RMU Redevelopment Mixed Use
-  ED Education
-  I Industrial
-  A Airport
-  Shopping Center Retrofit Overlay
-  Airport Overlay
-  Hope Neighborhood

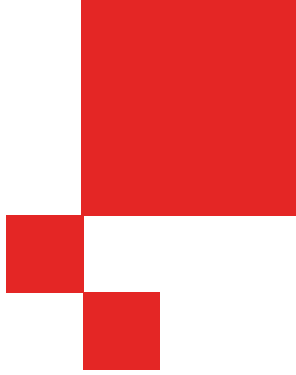


Base Map Source: City of Holland 2016, MCGI 2017.
Data Source: McKenna 2019.



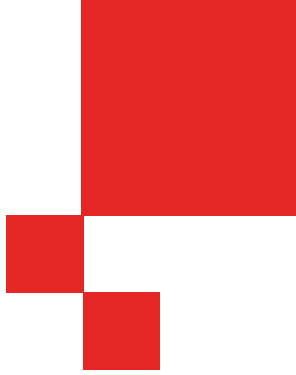
Eliminated Districts

- **C-4 Regional Shopping Center**
 - Folded into new CMU Corridor Mixed Use District
- **C-5 Professional Office Service**
 - Replaced by:
 - FBC-RM Form Based Code River-Michigan
 - NMU Neighborhood Mixed Use



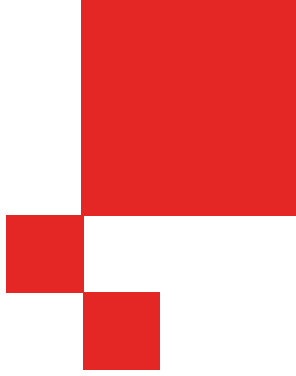
Eliminated Districts

- **I-2 Industrial Park**
 - Consolidated with I-1 into I Industrial District
- **R-5 Apartment**
 - Consolidated with R-3 into new R-3 Multiple Family Residential District
- **WIN Windmill Island**
 - Incorporated into OS Open Space District
- **I-196/M-40 Overlays**
 - Purpose determined to be obsolete



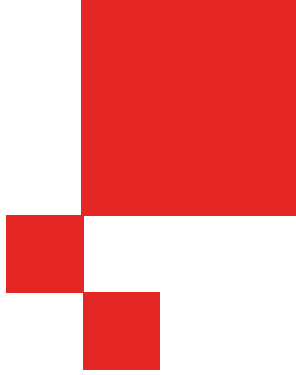
New Districts

- **Form Based Code Sub-Districts**
 - CDT Central Downtown
 - NDT North Downtown
 - EDT East Downtown
 - WDT Waterfront Downtown
 - CENT Centennial
 - SIXT Sixteenth Street
 - WASH Washington
 - RM River-Michigan
 - SSV South Shore Village



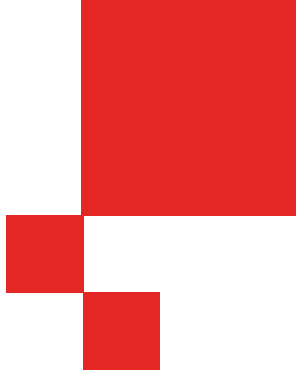
New Districts

- **GMU Greenfield Mixed Use**
 - Large undeveloped parcels near Waverly and 24th
- **RMU Redevelopment Mixed Use**
 - Legacy light industrial areas along Ottawa and Lincoln Avenues
- **R-TCD Traditional Cottage District**
 - Unique character of Central Park Neighborhood
- **OS Open Space**
 - Replacing AG Agriculture District
- **A Airport and Airport Overlay**
 - To better meet the airport's needs and promote aviation safety



R-TRN

- **Not changing:**
 - Front Setback (10 feet min, 25 feet max)
 - Rear Setback (25 feet min, no max)
 - Secondary Street Setback (7 feet min, 25 feet max)
 - Minimum Lot Area (5,000 sf)
 - Minimum Lot Width (40 ft)
 - Infill Design Requirement
 - Hope Neighborhood
 - Lot size threshold for 2-4 dwelling units (4,800 sf per unit)
 - Home Daycare Regulations

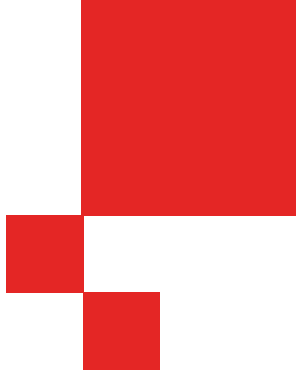


R-TRN

- **Proposed Changes:**

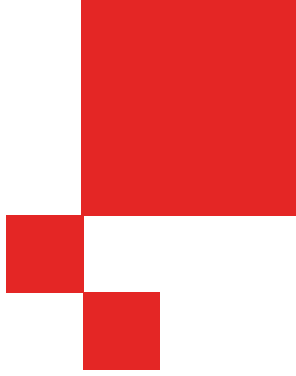
- Side Setback

- Now: At least 5 feet, total of two sides at least 13.
 - Proposed: 5 feet minimum, no maximum



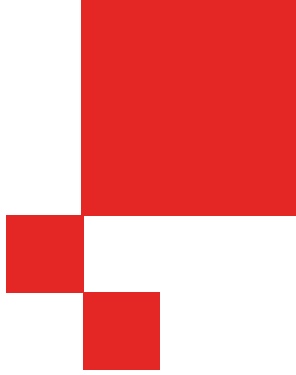
R-TRN

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Bed and Breakfasts
 - Government/Public Uses
 - K-12 Schools (where not exempt from local zoning)
 - Outdoor Recreation
 - Indoor Recreation
 - Religious Institutions



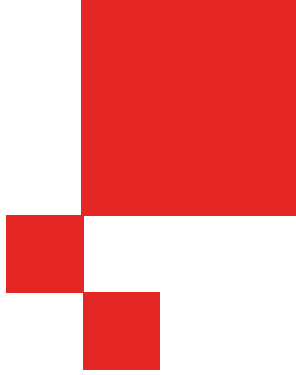
R-TRN

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Institutions of Higher Education



R-1

- **Not changing:**
 - Front Setback (30 feet min, no max)
 - Rear Setback (25 feet min, no max)
 - Secondary Street Setback (20 feet min, no max)
 - Home Daycare Regulations



R-1

- **Proposed Changes:**

- Side Setback

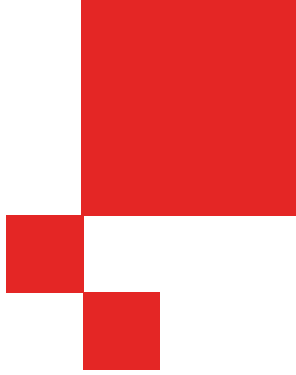
- Now: At least 7 feet, total of two sides at least 18.
- Proposed: 7 feet minimum, no maximum

- Minimum Lot Area

- Now: 8,400 sf
- Proposed: 7,000 sf

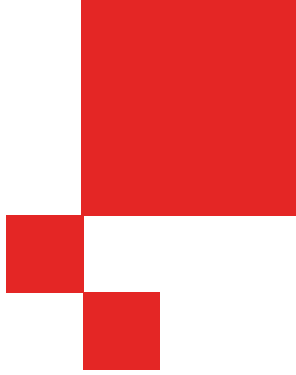
- Minimum Lot Width

- Now: 70 feet
- Proposed: 50 feet



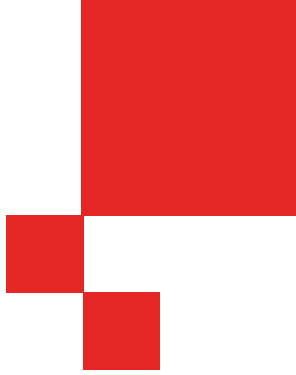
R-1

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Bed and Breakfasts
 - Government/Public Uses
 - K-12 Schools (where not exempt from local zoning)
 - Outdoor Recreation
 - Indoor Recreation
 - Religious Institutions



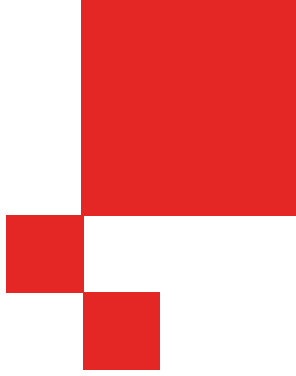
R-1

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Institutions of Higher Education



R-2

- **Not changing:**
 - Front Setback (25 feet min, no max)
 - Rear Setback (25 feet min, no max)
 - Secondary Street Setback (16 feet min, no max)
 - Home Daycare Regulations



R-2

- **Proposed Changes:**

- Side Setback

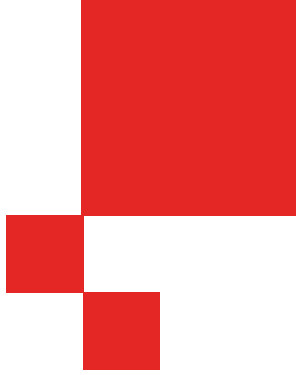
- Now: Differs for residential and non-residential.
- Proposed: 7.5 feet minimum, no maximum, for all uses

- Minimum Lot Area

- Now: 7,200 sf
- Proposed: 5,000 sf

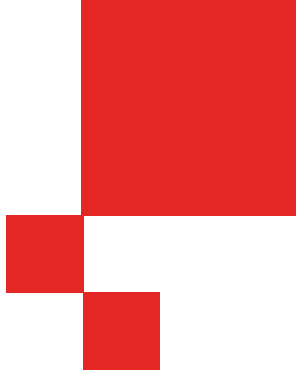
- Minimum Lot Width

- Now: 60 feet
- Proposed: 40 feet



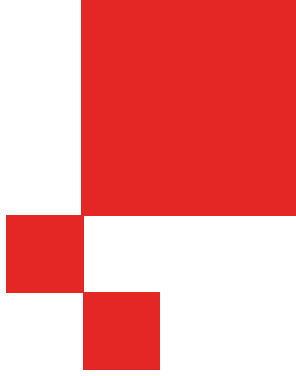
R-2

- **Proposed Changes:**
 - Minimum Lot Size for Two Units
 - Now: 8,400 sf
 - Proposed: Permitted on all buildable lots



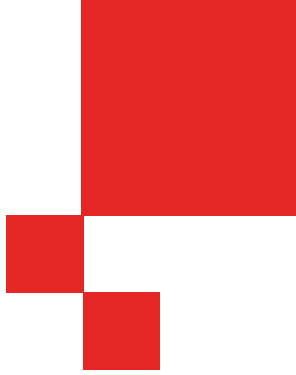
R-2

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Bed and Breakfasts
 - Government/Public Uses
 - K-12 Schools (where not exempt from local zoning)
 - Outdoor Recreation
 - Indoor Recreation
 - Religious Institutions



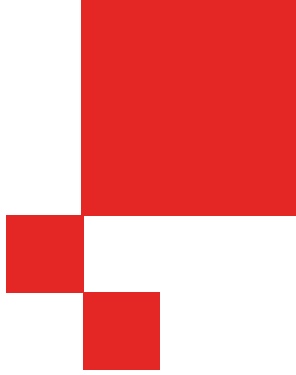
R-2

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Institutions of Higher Education



R-3

- **Not changing:**
 - Minimum Lot Width (50 feet)



R-3

- **Proposed Changes:**

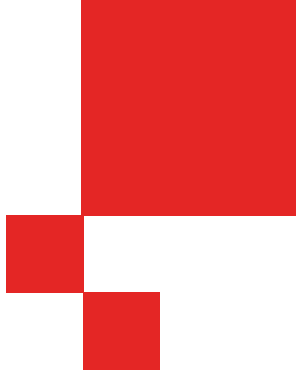
- Front Setback

- Now: 25 feet minimum, no maximum

- Proposed:

- From Existing Roads: 25 feet minimum, 75 feet maximum

- From Internal/New Roads: 10 feet minimum, 25 feet maximum



R-3

- **Proposed Changes:**

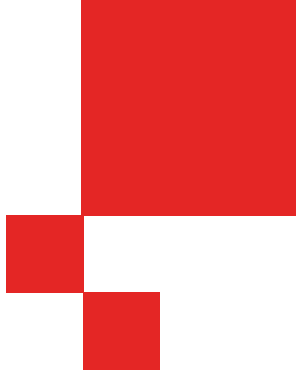
- Side Setback

- Now:

- 1 or 2 residential units: 5 feet minimum, 13 feet total of two
 - >2 residential units: 20 feet minimum, no maximum

- Proposed:

- May share a side wall (0 foot side setback)
 - If not shared wall, must be set back at least 15 feet



R-3

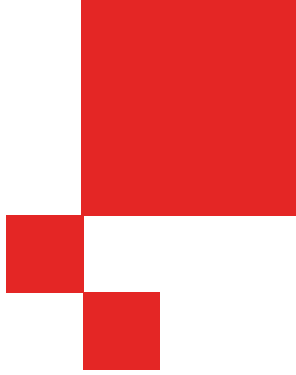
- **Proposed Changes:**

- Rear Setback

- Now: 25 feet
- Proposed: 35 feet

- Secondary Street Setback

- Now: 16 feet minimum, no maximum
- Proposed:
 - From Existing Roads: 25 feet minimum, 75 feet maximum
 - From Internal/New Roads: 10 feet minimum, 25 feet maximum



R-3

- **Proposed Changes:**

- Minimum Lot Area:

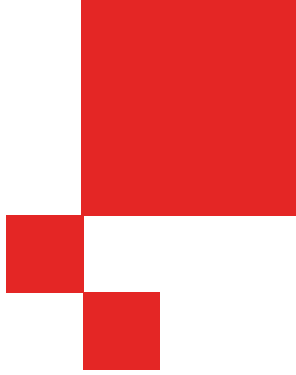
- Now: 5,000 sf

- Proposed: 10,000 sf

- Minimum Lot Area Per Dwelling Unit

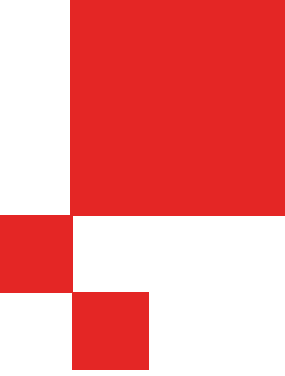
- Now: 4,800 sf per unit

- Proposed: No minimum, provided setbacks, minimum unit size, and building height (three stories) are all met.



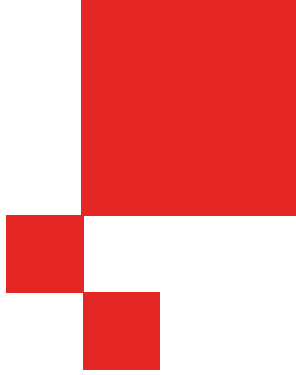
R-3

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Government/Public Uses
 - K-12 Schools (where not exempt from local zoning)
 - Religious Institutions



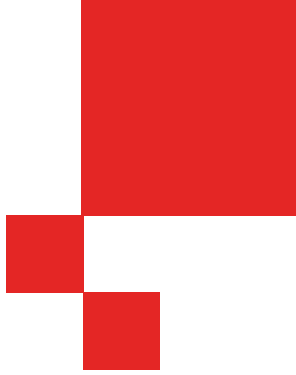
R-3

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Institutions of Higher Education
 - Uses in mixed use buildings:
 - Retail
 - Office
 - Personal Services
 - Restaurant/Bar
 - Medical/Dental Clinic



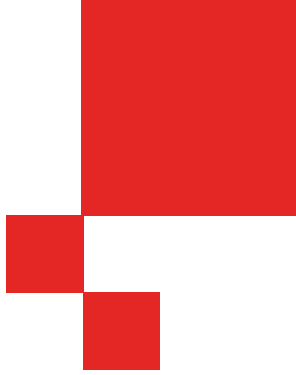
R-3

- **Uses:**
 - Currently Permitted, Proposed to be Prohibited
 - Hospitals
 - Nursing or Convalescent Homes



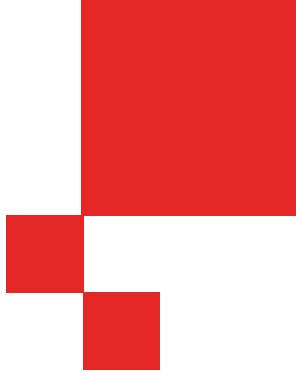
R-4

- **No Changes Proposed**



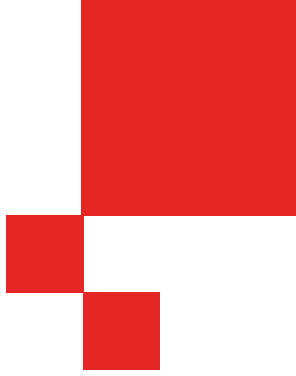
ED

- **Reformatted, but no substantive changes proposed**



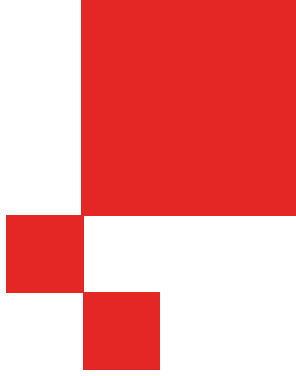
C-1 (Renamed NMU)

- **Not Changing**
 - Rear Setback (24 feet minimum, may be waived if adjacent lot is non-residential)
 - Minimum Lot Area (5,000 sf)
 - Minimum Lot Width (50 feet)
 - Most Uses
 - Including residential in mixed-use buildings



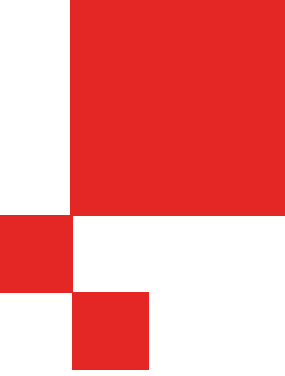
C-1 (Renamed NMU)

- **Proposed Changes:**
 - Front Setback
 - Now:
 - “General”: 25 feet minimum, no maximum
 - “Traditional Neighborhood”: No minimum, 10 feet maximum
 - Proposed: No minimum, 6 feet maximum



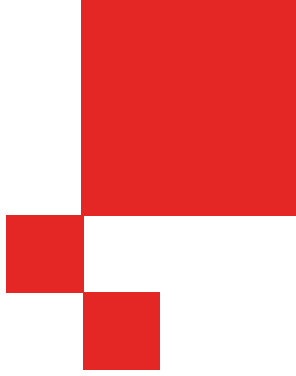
C-1 (Renamed NMU)

- **Proposed Changes:**
 - Side Setback
 - Now:
 - Abutting R-1/R-2/R-3: 7 feet minimum
 - All others: No minimum
 - Proposed:
 - May share a side wall (0 foot side setback)
 - If not shared wall, must be set back at least 15 feet



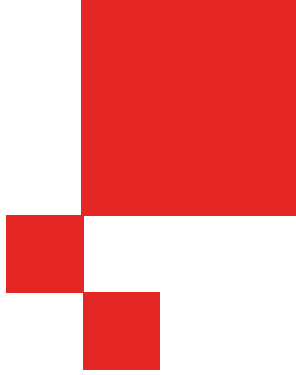
C-1 (Renamed NMU)

- **Proposed Changes:**
 - Secondary Street Setback
 - Now: 7 feet minimum, no maximum
 - Proposed: No minimum, 6 feet maximum



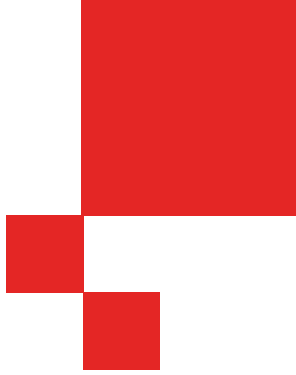
C-1 (Renamed NMU)

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Private Parking Lots (with no Principal Building)
 - Public Parking Lots permitted by right
 - Drive-Thrus



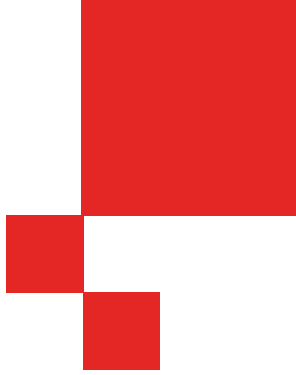
C-1 (Renamed NMU)

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Government/Public Uses
 - Institutions of Higher Education
 - K-12 Schools
 - Religious Institutions
 - Hospitals



C-2 (Renamed CMU)

- **Not Changing**
 - Side Setback (25 feet minimum, no maximum)
 - Rear Setback (25 feet minimum, no maximum)
 - ***Note: Error on Page 17 of Comparison Memo***
 - Minimum Lot Area (10,000 sf)
 - Minimum Lot Width (100 feet)
 - Most Non-Residential Uses



C-2 (Renamed CMU)

- **Proposed Changes:**

- Front Setback

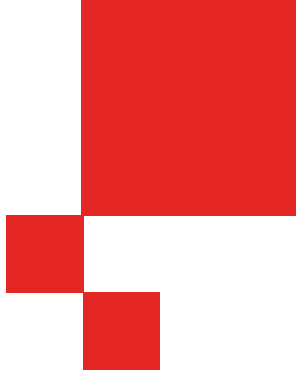
- Now: 50 feet minimum, no maximum

- Proposed:

- Abutting Washington Avenue: 15 feet minimum, 65 feet maximum

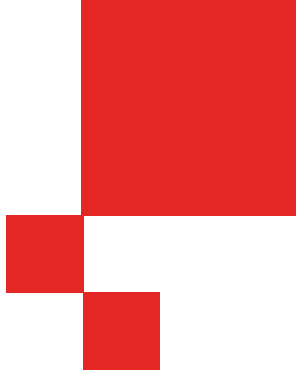
- Not abutting Washington Avenue: 15 feet minimum, No maximum

Note: Error on Page 17 of Comparison Memo



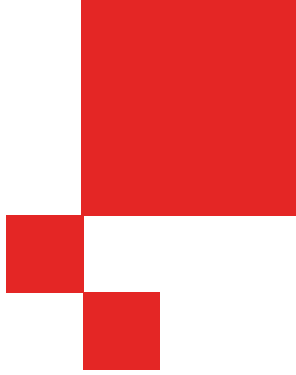
C-2 (Renamed CMU)

- **Uses:**
 - Currently Permitted, Proposed to be Prohibited
 - Marinas



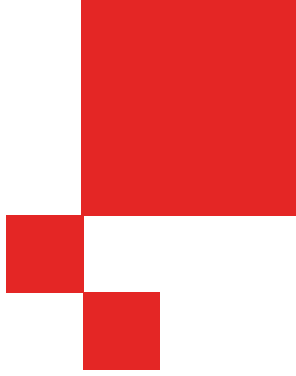
C-2 (Renamed CMU)

- **Uses:**
 - Currently Permitted, Proposed to Require Special Use
 - Drive-Thrus
 - Vehicle Sales
 - Vehicle Repair
 - Low-Intensity Manufacturing



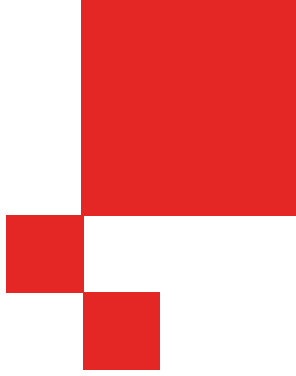
C-2 (Renamed CMU)

- **Uses:**
 - Currently Prohibited, Proposed to be Permitted
 - Residential Units (in mixed use buildings only)
 - Indoor Recreation
 - Outdoor Recreation
 - Religious Institutions
 - Event Space
 - Maker Space



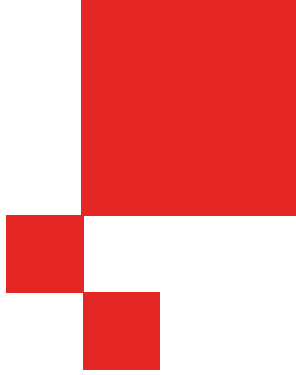
C-2 (Renamed CMU)

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Child Care Centers
 - Hospitals
 - Nursing or Convalescent Homes
 - Gas Stations
 - Funeral Homes
 - Indoor Gun Range
 - Vehicle Wash
 - Transportation and Logistics



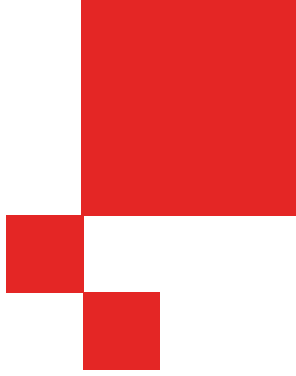
I-1 (Renamed I)

- **Not Changing**
 - Minimum Lot Area (20,000 sf)
 - Minimum Lot Width (100 feet)
 - Industrial Uses



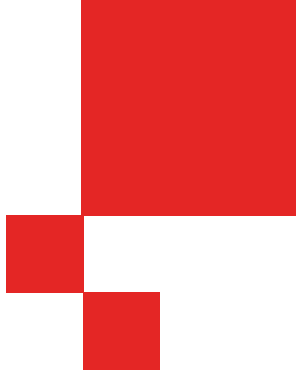
I-1 (Renamed I)

- **Proposed Changes:**
 - Front Setback (and Secondary Street Setback)
 - Now: 25 feet minimum, no maximum
 - Proposed:
 - North of 10th Street: 5 feet minimum, no maximum
 - South of 10th Street: 25 feet minimum, No maximum



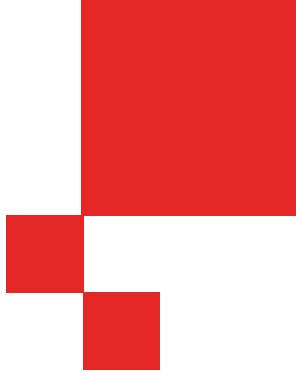
I-1 (Renamed I)

- **Proposed Changes:**
 - Side Setback
 - Now: 30 feet minimum, no maximum
 - Proposed: 25 feet minimum, no maximum
 - Rear Setback
 - Now: 24 feet minimum, no maximum
 - Proposed: 25 feet minimum, no maximum
 - Building Height
 - Now: 40 feet
 - Proposed: 64 feet, with up to 100 feet allowable by Special Use.
 - Max occupiable stories: 3



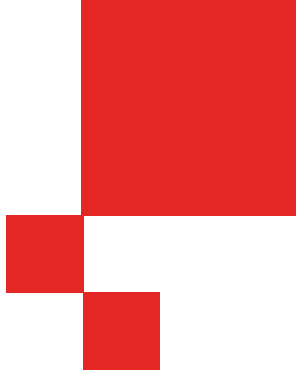
I-1 (Renamed I)

- **Uses:**
 - New: “Non-Industrial Outlots”
 - Commercial and Residential Uses Permitted by Special Use Permit



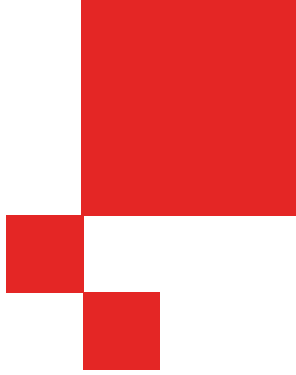
I-1 (Renamed I)

- **Uses:**
 - Currently Prohibited, Proposed to be allowed by Special Use
 - Government/Public Uses
 - Parking Lot, with no principal use
 - Parking Garage
 - Outdoor Recreation



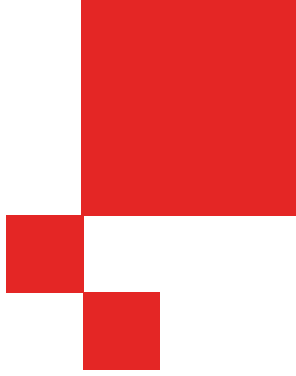
Downtown (C-3 vs CDT)

- **Not Changing**
 - Rear Setback (None)
 - Minimum Lot Size: 5,000 sf
 - Minimum Lot Width: 50 feet
 - Most Uses



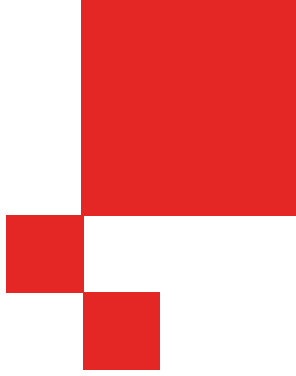
Downtown (C-3 vs CDT)

- **Proposed Changes:**
 - Front Setback (and Secondary Street Setback)
 - Now:
 - A Streets: 0 feet minimum, 6 feet maximum
 - B Streets: 0 feet minimum, 6 feet maximum
 - Proposed: 0 feet minimum, 6 feet maximum (all streets)
 - Side Setback
 - Now: Must be 0 feet
 - Proposed: 0 feet or Pedestrian Cut-Through Option



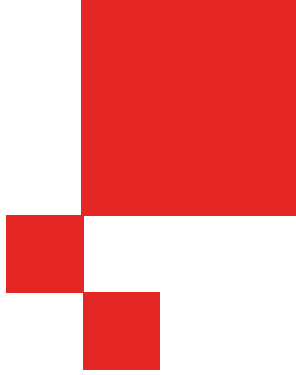
Downtown (C-3 vs CDT)

- **Proposed Changes:**
 - Building Height
 - Now: 3 stories
 - Proposed: 6 stories (5 on non-corner lots on 8th Street)



Downtown (C-3 vs CDT)

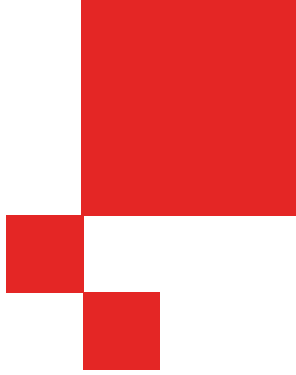
- **Uses:**
 - Previously permitted, now prohibited:
 - Vehicle Sales
 - Warehousing
 - Wholesale



Parking

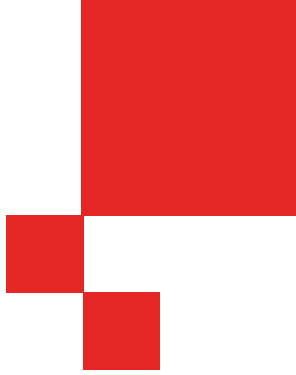
Overall

- **Now:**
 - Parking requirements apply city-wide (except in C-3)
 - List of parking requirements by use does not include several uses
 - Parking requirements based on things could change (like number of employees)
- **Proposed:**
 - Parking requirements differ by zoning district
 - “TBD” parking requirement only in intentional situations
 - Parking requirements based on square footage or other physical characteristics



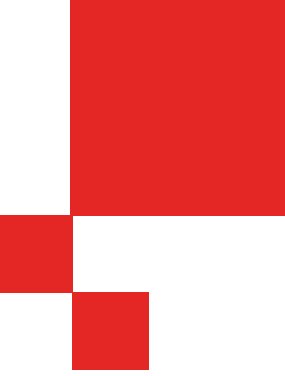
Selected Uses

- **Retail**
 - Now: Depends on type of retail or office
 - Proposed:
 - FBC-CDT: No minimum
 - Other FBC: 1 per 500 sf
 - R-3/NMU/RMU: 1 per 400 sf
 - GMU: 1 per 300 sf
 - CMU/I/A: 1 per 200 sf



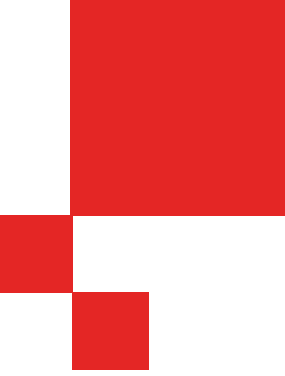
Selected Uses

- **Office**
 - Now: 1.5 per employee
 - Proposed:
 - FBC-CDT: No minimum
 - Other FBC: 1 per 500 sf
 - R-3/NMU/RMU: 1 per 400 sf
 - GMU: 1 per 300 sf
 - CMU/I/A: 1 per 200 sf



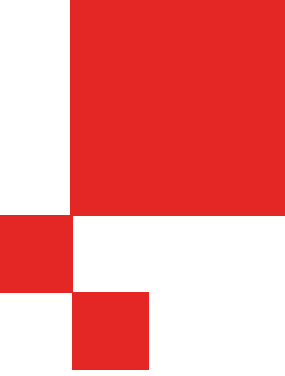
Selected Uses

- **Restaurant**
 - Now: 1 per 100 sf
 - Proposed:
 - FBC-CDT: No minimum
 - Other FBC: 1 per 500 sf
 - R-3/NMU1 per 400 sf
 - GMU: 1 per 300 sf
 - RMU/CMU/I/A: 1 per 200 sf



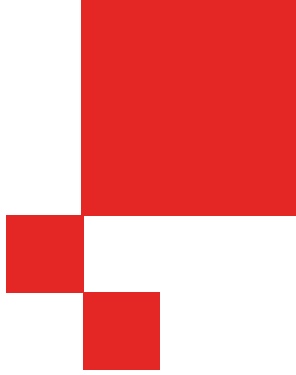
Selected Uses

- **Warehousing/Wholesale/Manufacturing**
 - Now: 1 per 2 employees
 - Proposed:
 - CMU: 1 per 800 sf
 - I/A: To Be Determined during Site Plan Approval Process



Selected Uses

- **Residential**
 - Now: Depends on location and density
 - Proposed: 1 space per unit, citywide

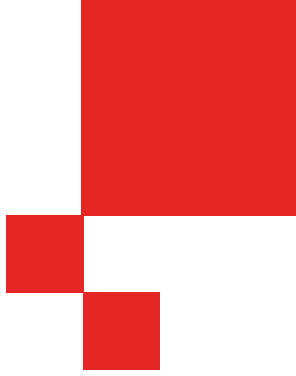




Signage

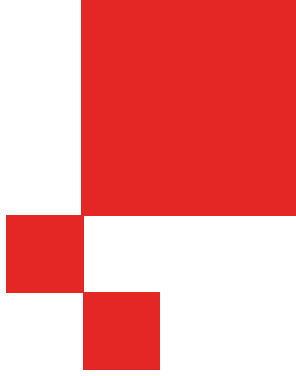
Residential Signage

- **Two signs per lot**
- **Maximum Area:**
 - Lot width <60 feet: 12 sf
 - Lot width >60 feet: 24 sf
- **Maximum Number of Signs: 2 per lot**



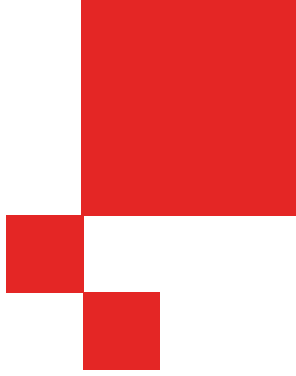
Non-Residential Signage

- **Residential Districts (R-TRN, R-TCD, R-1, R-2, R-3, R-4)**
- **Wall Signs: No changes from current ordinance**
 - Max Area: 12 sf
 - Number: 1 per street frontage
- **Freestanding Signs: No changes from current ordinance**
 - Max Area: 32 sf
 - Max Height: 6 feet
 - Number: 2 per lot



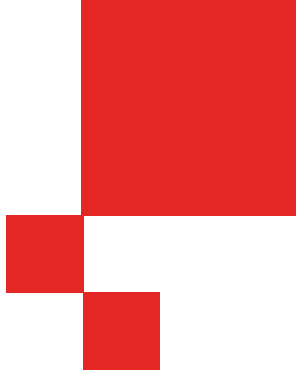
Non-Residential Signage

- **Residential Districts (R-TRN, R-TCD, R-1, R-2, R-3, R-4)**
- **Projecting Signs**
 - **Current Prohibited**
 - **Proposed:**
 - Max Area: 6 sf
 - 1 per building
 - Must be at least 8 feet off ground



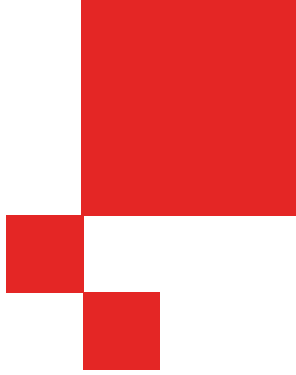
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Wall Signs:**
 - **Now:**
 - Max Area: 10% of wall (except in C-3)
 - Number: No Maximum
 - **Proposed:**
 - Max Area:
 - CMU/GMU/I/A: 10% of wall
 - FBC/NMU/RMU: 1 sf per linear foot of building width
 - Number: No Max in CMU/GMU/I/A, 1 per storefront in FBC/NMU/RMU



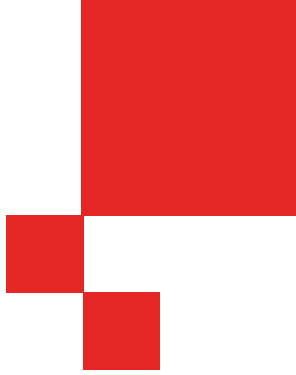
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Freestanding Signs:**
 - **Now:**
 - Max Area: <300 feet of frontage: 32 sf, >300 feet of frontage: 64 sf
 - Number: No Maximum
 - Height: 6 feet
 - Setback: 12 feet



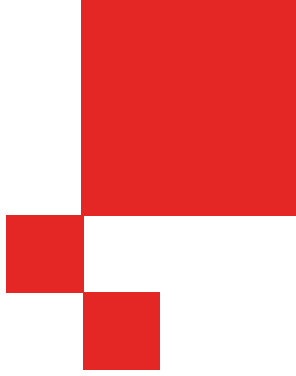
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Freestanding Signs:**
 - **Proposed:**
 - Max Area:
 - CMU/GMU/I/A: 75 sf
 - FBC/NMU/RMU: 32 sf
 - Number:
 - CMU/GMU/I/A: 1 per street frontage
 - FBC/NMU/RMU: 1 per lot



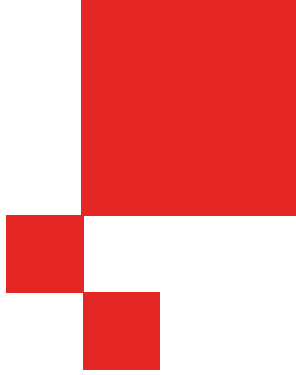
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Freestanding Signs:**
 - **Proposed:**
 - Height:
 - CMU/GMU/I/A: 25 feet
 - FBC/NMU/RMU: 6 feet
 - Number:
 - CMU/GMU/I/A: 1 per street frontage
 - FBC/NMU/RMU: 1 per lot



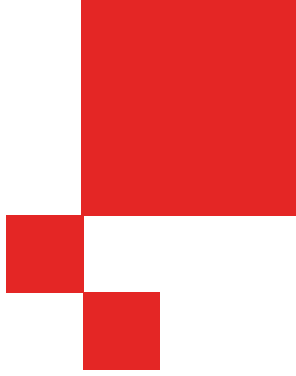
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Projecting Signs:**
 - **Now:**
 - Area: 6 sf
 - Height: 8 feet from grade
 - Number: 1 per storefront



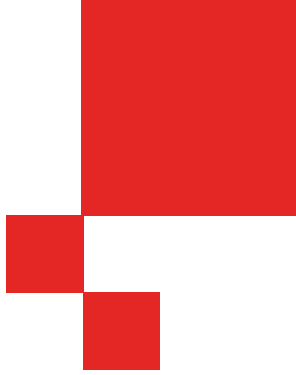
Non-Residential Signage

- **Non-Residential Districts (FBC, NMU, RMU, GMU, CMU, I, A)**
- **Projecting Signs:**
 - **Proposed:**
 - Area: 6 sf
 - Height: 8 feet from grade
 - Number:
 - CMU/GMU/I/A: 1 per building
 - FBC/NMU/RMU: 1 per storefront



Non-Residential Signage

- **ED District – No requirements in either existing ordinance or proposed UDO**
- **Design Review Board keeps all current powers**





Questions/Discussion