

RESIDENTIAL DECK

HOW TO GET A PERMIT



WHO CAN GET A PERMIT?

Licensed contractors may obtain permits for any property. Home-owners may obtain permits for their own property.

WHAT DO I NEED TO GET A PERMIT?

Two copies of a site plan and two copies of structural plans are required to obtain a building permit.

WHAT CODES ARE OFTEN OVERLOOKED?

- All walking surfaces that are greater than 30" above the adjacent grade require a 36" high guardrail. All openings in the guardrail must be less than 4" between the rails.
- All staircases that have 4 or more risers require a graspable handrail. A 2x4 is not graspable.
- All risers and treads must be the same size (within 3/8") of each other, including the first and last.
- All posts must be buried 42" below grade when the deck is attached to the house.
- All beams and ledgers require bolts when not sitting on post or house foundation.
- All joists require joist hangers when not sitting on a beam or a ledger.

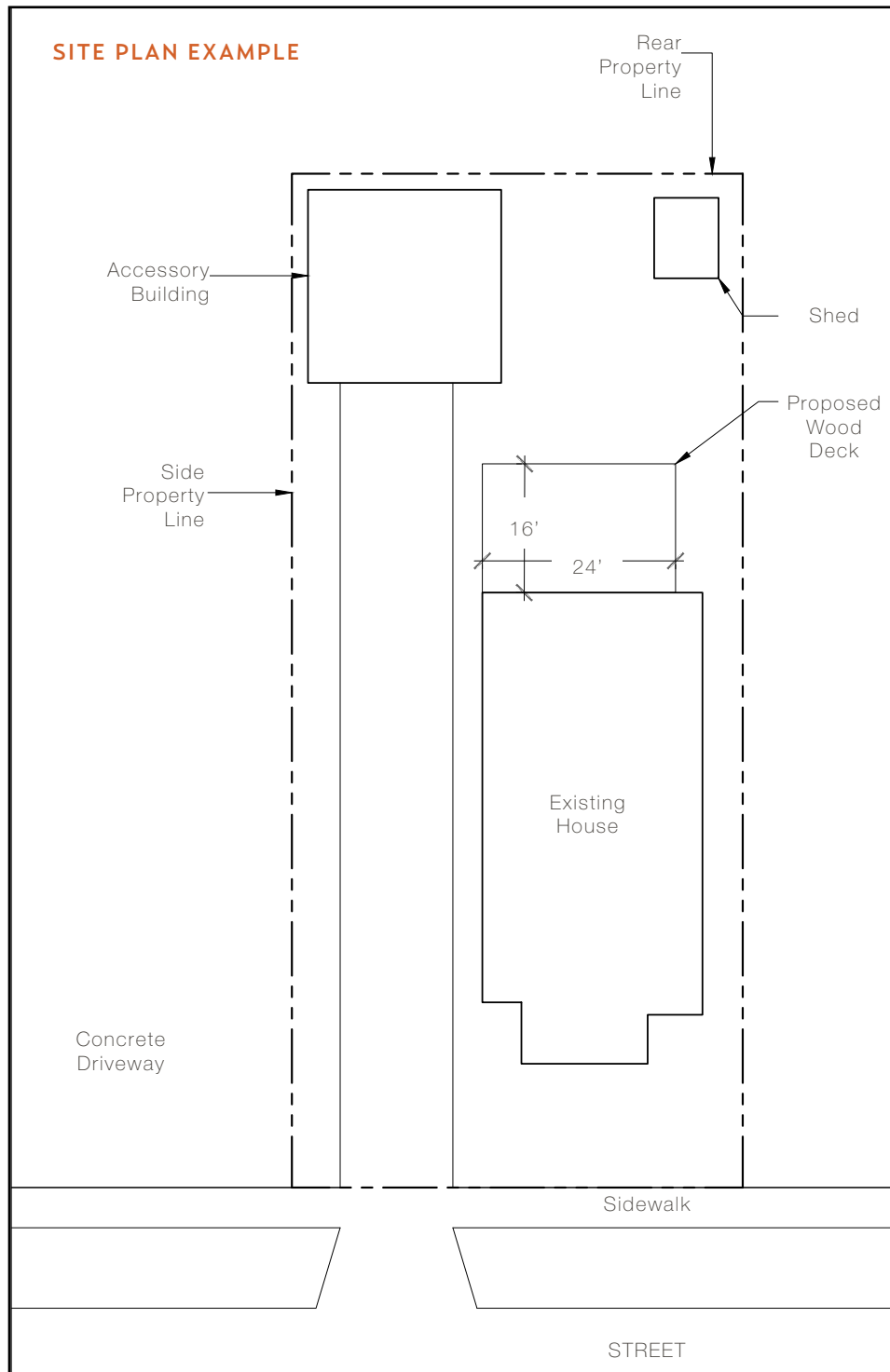
I HAVE PLANS. NOW WHAT?

Submit the plans to Community & Neighborhood Services with the enclosed building permit application completed. Plan review may take as long as two weeks. However, small and complete plans may be reviewed sooner. We will contact you when your permit is ready.

If you have any questions about this information, please feel free to contact us.

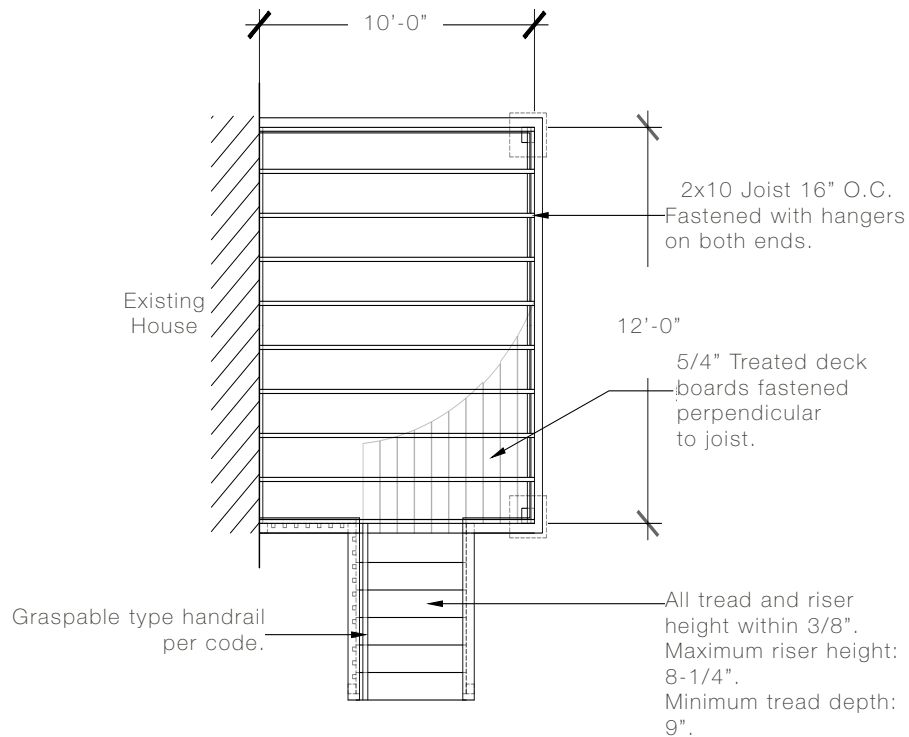
WHERE CAN I BUILD A DECK? HOW BIG CAN IT BE?

Setbacks and yard requirements can be fairly complicated. Your property survey may show the setbacks for your property, otherwise we will be glad to answer any questions you may have.

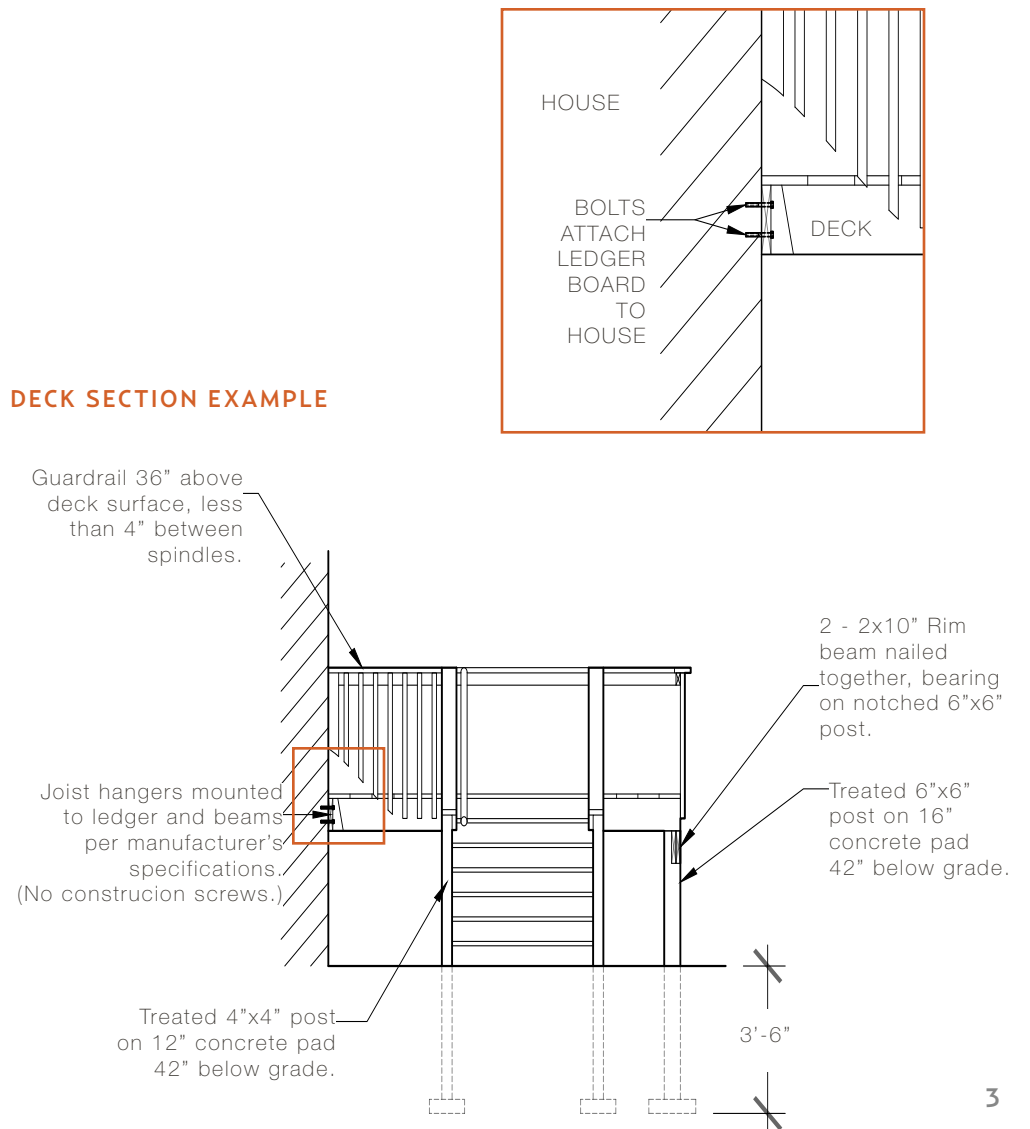


SAMPLE DECK PLANS

DECK PLAN EXAMPLE



DECK SECTION EXAMPLE



BASIC STAIRWAY REQUIREMENTS

