

## Site Plan Review Application

Name of Applicant: \_\_\_\_\_

Email & Phone Number of Applicant: \_\_\_\_\_

Name & Address of Owner: \_\_\_\_\_

Legal Interest of Applicant in Subject Property: \_\_\_\_\_

Address of Subject Property: \_\_\_\_\_

Permanent Parcel No: \_\_\_\_\_

Zoning District: \_\_\_\_\_

Lot Dimensions/Acreage: \_\_\_\_\_

Description of Proposed Site Plan with Square Footage:

\_\_\_\_\_

### SUBMITTAL REQUIREMENTS

- A completed site plan review application
- Application fee
- One digital PDF copy
- Two folded hardcopies of the site plan
- Written project summary
- Sustainability Principles Checklist
- Public Outreach Workshop summary (if applicable)

### Required Site Plan Details:

- North arrow; scale bar; date of plan & revisions
- Legal description; address; property tax parcel number
- Clear legend, call hydrants out in plan
- Plans based on accurate land survey
- Property lines & dimensions included
- Existing & Proposed Structures: Location, square footage & dimensions
- Acreage & square footage
- Elevation drawings of all façades & height dimensions; construction materials specified

➤ **A written project summary including:**

- Percentage of site allocated to impervious surfaces
- Key Sustainability Principles included
- Number, type & density of dwelling units, bedrooms, and the proposed market to be served (if residential)
- Impact on Public Services including: Schools, police, fire protection, utilities & traffic
- Expected phases of development
- List of all State, Federal, or other regulatory approvals
- Discussion of relationship to surrounding properties & uses
- Discussion of any impacts such as noise, vibration, smoke, light, glare, etc.
- Other information may be requested to evaluate the site plan

Signature of Applicant: \_\_\_\_\_  \_\_\_\_\_ Date: 3/13/2026

*I hereby state that all the above statements and all the accompanying information are true and correct.*

**Please note:** Planning Commission meets every second Tuesday of the month. Applications are due by **5:00 p.m. 28 days prior to the meeting.**

**Fees:** All costs to be paid by the applicant

**SITE PLAN, DEVELOPMENT PLAN, OR SITE CONDOMINIUM REVIEW**

- Application for Planning Commission Review: \$500.00
- Amendments requiring Planning Commission approval: \$300.00
- Administrative Site Plan Review: \$400.00

**ZONING ORDINANCE AMENDMENTS** (Please also complete the [Rezoning Application](#))

- Rezoning **with** concurrent development or site plan review: \$700.00  
*Rezoning only: \$500.00*

**SPECIAL LAND USES** (Please also complete the [Special Land Use Application](#))

- Application for Planning Commission Review **with** concurrent development or site plan review: \$600.00

**Questions?**

Contact Senior City Planner, Steve Peterson, Community & Neighborhood Services by calling (616) 355-1330 or emailing [planningcomment@cityofholland.com](mailto:planningcomment@cityofholland.com).

## SUSTAINABILITY PRINCIPLES

Will your facility have any sustainability building certifications?  
*example: LEED, Living Building Challenge, etc.*

YES  NO

Will your project include any sustainable storm water infrastructure?  
*example: rain gardens, native vegetation/landscaping and/or permeable surfaces*

YES  NO

Will there be any recycling or re-purposing of the construction and demolition waste during construction?

YES  NO

If so, how will you handle the materials?

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Will your facility or development be energy efficient?  
How will it be efficient?

YES  NO

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Are you aware of all the BPW rebates for your facility or development?

YES  NO

Will your facility or development be water-efficient?  
How will it be efficient?

YES  NO

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Will your development be installing any electric vehicle chargers or alternative fuel sources?

YES  NO

Will the chargers or alternative fuel source be open to the public?

YES  NO

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Will your project have interesting or unique sustainable attributes?  
*example: mass timber, snow melt, natural landscaping*

YES  NO

What will the unique attributes be?

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March 17, 2026  
Project No. 2501289

Steve Peterson  
Senior City Planner  
City of Holland  
270 S River Avenue, Third Floor  
Holland, MI 49423

### **Gezellig Place – Site Plan Approval Project Summary 493 32nd Street – Holland, Michigan 49423**

On behalf of AMK Properties, Fishbeck is pleased to present this Site Plan Approval application for the proposed residential development on permanent parcel number 70-16-31-300-094 located at 493 32nd Street in Holland, Michigan. This letter is provided to describe in detail the proposed use of the property in accordance with the published checklist of required documents.

If granted Site Plan Approval, AMK Properties intends to construct a 25 unit, 5 building residential development featuring 5-unit townhome style condominiums per building. These individual units would be intended for resale for individual ownership. Each building features 5 units total; three, 2-bedroom units ~1,250 SF and two, 3-bedroom units ~1,589 SF. The 2-bedroom units feature an attached one-car garage. The 3-bedroom units feature an attached two-car garage. The property is zoned High Density Residential and the proposed application is a permitted use and fits the surrounding community. There are Medium Density Residential neighborhoods directly east and north of the site. Additionally, there are Low Density Residential zones directly west and south of the site. The Calvary Baptist Church is directly west of the site including a combination of residences and a school transportation facility. The site features approximately 52% impervious area, less than the required 70% maximum.

The development will positively impact the community, providing additional residential home ownership opportunities, increasing school attendance, and increasing economic growth for the City of Holland and surrounding areas. The property intends to utilize the existing driveway access points along 32nd Street and will be modified as required for proposed turning movements. The traffic volumes are intended to be similar to the previous use of a nursing home. The development should have minimal disturbances to the community aside from construction itself. We will work with our construction partners to ensure noise and disturbances are limited to the greatest extent possible. Once the development is constructed, no disturbances are anticipated. The development is anticipated to be completed in one phase.

Key sustainable principles for the development include Low Impact Development strategies for stormwater management, high efficiency heating and cooling, low-flow water fixtures, infrastructure for electrical vehicle charging in townhome garages, and recycling existing onsite pavement that will be removed. The site features sandy soil and stormwater will be managed exclusively via infiltration into the sandy subsoils onsite, as there is no available storm sewer outlet surrounding the site. Utilizing a combination approach of an infiltration retention basin and infiltration throughout stormwater conveyance piping, the site will manage all runoff up to a 100-year storm event without any offsite discharges. Additional sustainability principles for the project are listed above.

If you have any questions or require additional information, please contact me at 269.544.6956 or [bamcdowell@fishbeck.com](mailto:bamcdowell@fishbeck.com).

Sincerely,

A handwritten signature in black ink that reads "Bryan A. McDowell". The signature is written in a cursive, flowing style.

**Bryan A. McDowell, PE**

Civil Engineer

By email and UPS

Copy: Jack Brown – AMK Properties

Dan Boggs – Daniel Boggs Architect

# AMK Properties

## Gezellig Place

493 32nd Street  
Holland, MI

Issued for Site Plan Approval, March 17, 2026  
Project Number: 2501289



fishbeck.com 1515 Arboretum Drive  
800.456.3824 Grand Rapids, Michigan



### GENERAL

G001 COVER

### CIVIL

- C101 EXISTING CONDITIONS
- C201 SITE LAYOUT PLAN
- C301 GRADING PLAN
- C310 STORMWATER MANAGEMENT PLAN
- C401 UTILITY PLAN
- C501 DETAILS

### ELECTRICAL

C801 SITE PHOTOMETRIC PLAN

### LANDSCAPE

L101 LANDSCAPE PLAN

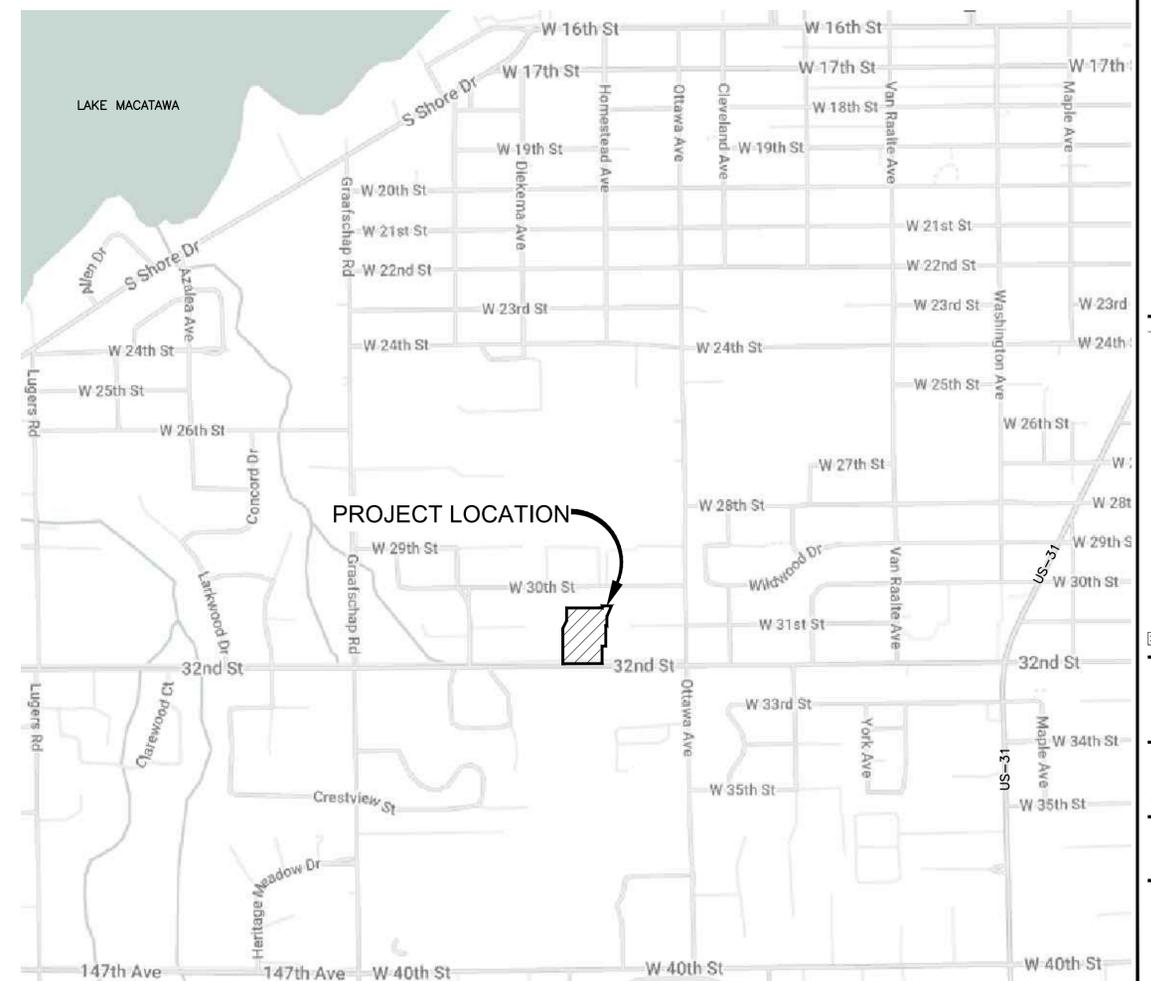
### ARCHITECTURAL

- A-T ARCHITECTURAL TITLE SHEET
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS

### GRAPHIC SYMBOLS

<p>ELEVATION, SECTION, AND DETAIL DESIGNATION</p> <p><b>1 SECTION</b> SCALE: 1/4" = 1'-0"</p> <p>PLAN DESIGNATION</p> <p><b>PLAN</b> SCALE: 1/8" = 1'-0"</p> <p>NORTH</p>	<p>EXTERIOR ELEVATION TAG</p> <p><b>A</b> A303</p> <p>INTERIOR ELEVATION TAG/PHOTO TAG</p> <p><b>A301</b> B</p>	<p>NORTH ARROW DESIGNATION</p> <p>NORTH</p> <p>NORTH ROOM NAME AND NUMBER</p> <p>ROOM NAME</p> <p><b>101</b></p>	<p>ENLARGED DETAIL FRAME</p> <p><b>1</b> A207</p> <p>SECTION CUT LINE</p> <p><b>1</b> A507</p>	<p>ELEVATION TARGET</p> <p>SPOT ELEVATION</p> <p>EL. 100'-0"</p> <p>EXISTING CONSTRUCTION GRID</p> <p>NEW CONSTRUCTION GRID</p> <p>LEVEL CALLOUT</p> <p>FIRST FLOOR 100'-0"</p>	<p>DEMOLITION KEY NOTE</p> <p>NEW CONSTRUCTION KEY NOTE</p> <p>REVISION CLOUD</p> <p>ADDENDUM IDENTIFICATION</p> <p>BULLETIN IDENTIFICATION</p>
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### LOCATION MAP



NO SCALE



AMK Properties  
493 32nd Street, Holland, MI 49423

Gezellig Place

### REVISIONS

3/17/2026 SITE PLAN APPROVAL

Drawn By SNETZ  
Designer AWOLOSZYK  
Reviewer DRHOTON  
Manager BAMCOWELL

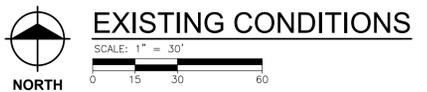
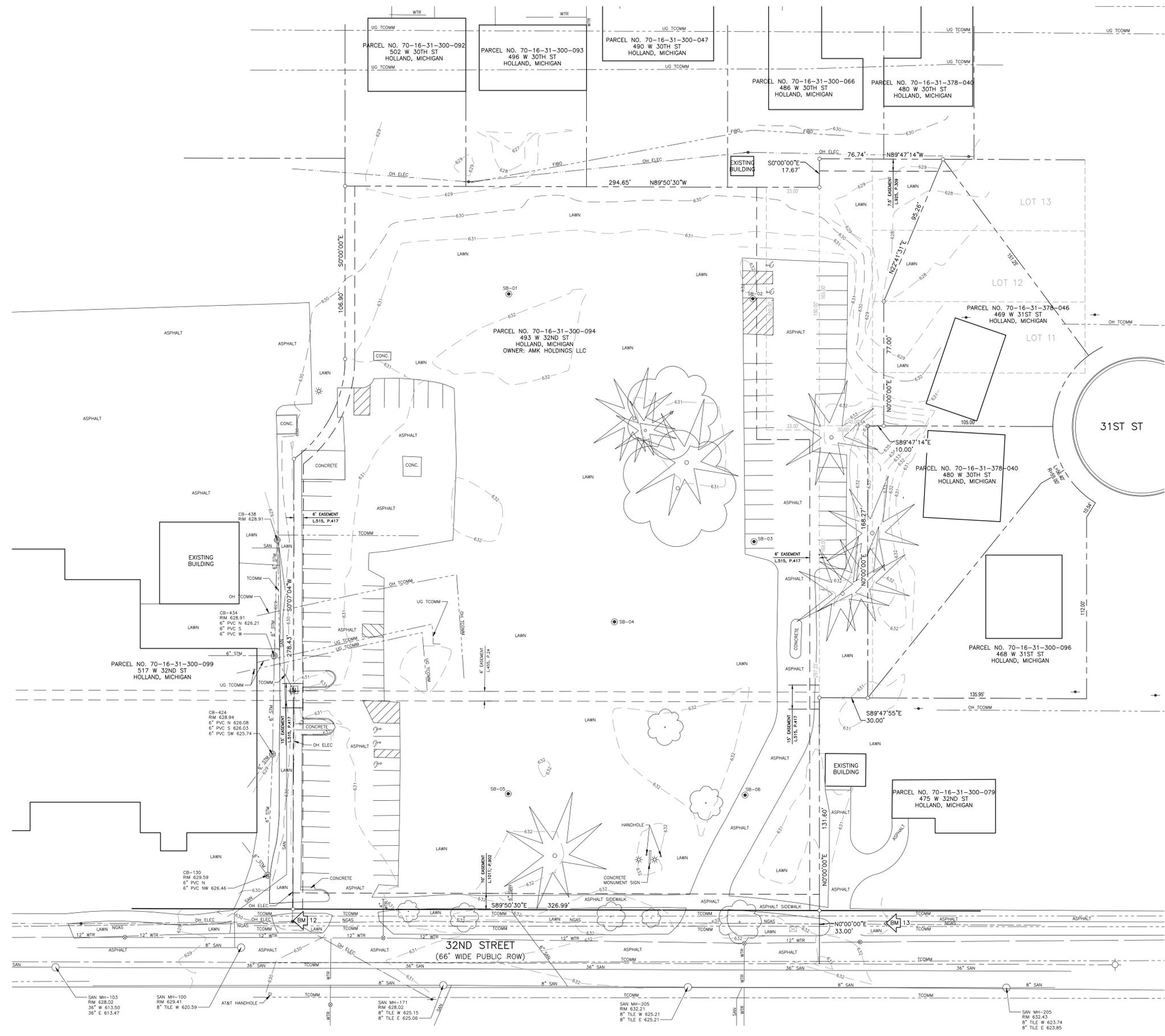
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PROJECT NO.  
2501289

SHEET NO.

**G001**

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**BENCH MARKS**

**BENCH MARK 12** ELEVATION: 631.11 (NAVD88)  
SET NAIL IN NORTHEAST SIDE OF POWER POLE #11588 (0.5' ABOVE GROUND LEVEL), LOCATED 26'± NORTH OF THE CENTER OF 32ND STREET & 38'± WEST OF WEST DRIVE ENTRANCE TO SUBJECT PROPERTY.

**BENCH MARK 13** ELEVATION: 633.38 (NAVD88)  
SET BENCHMARK ON TOP OF FLANGE BOLT TO HYDRANT (UNDER "W" IN EJIW), LOCATED 24'± NORTH OF CENTERLINE 32ND STREET & 112'± EAST OF THE CENTER OF EAST DRIVE ENTRANCE TO SUBJECT PROPERTY.

**SYMBOL LEGEND**

- BENCH MARK
- PROPERTY LINE
- OLD PROPERTY LINE
- ROW LINE
- EASEMENT LINE
- SOIL BORING
- SHRUBS
- CONIFEROUS TREE
- DECIDUOUS TREE
- TREE LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- LIGHT
- UTILITY POLE
- SIGN
- MAIL BOX
- GUARD RAIL
- FENCE LINE
- GRAVEL SURFACE
- PAVED SURFACE
- EXISTING CURB & GUTTER
- BARRIER FREE MARKING
- 8" SAN
- 12" STM
- CATCH BASIN CURB AND LAWN TYPE
- VALVE
- HYDRANT
- 6" WTR
- 4" FM
- NGAS
- ELEC
- FIBER OPTICS
- UG TCOMM
- TELEPHONE PEDESTAL

**SURVEY NOTES**

- TOPOGRAPHIC SURVEY WAS COMPLETED BY NEDERVELD IN NOVEMBER 2025 AND REFLECTS CONDITIONS AT THAT TIME. THE SURVEY HAS BEEN SUPPLEMENTED WITH RECORD AND PAST PROJECT INFORMATION FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING TO CONFIRM EXISTING CONDITIONS AS SHOWN ON THE PLANS. REPORT ALL DISCREPANCIES TO THE ENGINEER.
- THE HORIZONTAL AND VERTICAL INFORMATION PROVIDED IS BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), INTERNATIONAL FEET) WITH NAD83 HORIZONTAL AND NAVD88 VERTICAL DATUM, RESPECTIVELY.
- UNDERGROUND UTILITIES ARE SHOWN BASED ON SURFACE MANHOLE AND VALVE LOCATIONS, RECORD DRAWINGS, AND OWNER PROVIDED UTILITY MAPS AND MAY NOT BE ACCURATE. CONTRACTOR SHALL CONTACT MISS DIG PRIOR TO ANY EXCAVATION. CONTACT ENGINEER IF UTILITIES ARE FOUND IN DIFFERENT CONDITIONS THAN SHOWN ON THESE PLANS.

**GEOTECHNICAL NOTES**

- GEOTECHNICAL FIELD INVESTIGATION AND REPORT PREPARED BY SOILS AND STRUCTURES IN OCTOBER 2025 AND REFLECT CONDITIONS AT THAT TIME.
- USCS SOIL CLASSIFICATION: SOIL TYPES AROUND SITE ARE GENERALLY COMPACT BROWN FINE TO MEDIUM SAND (SP).

**REVISIONS**

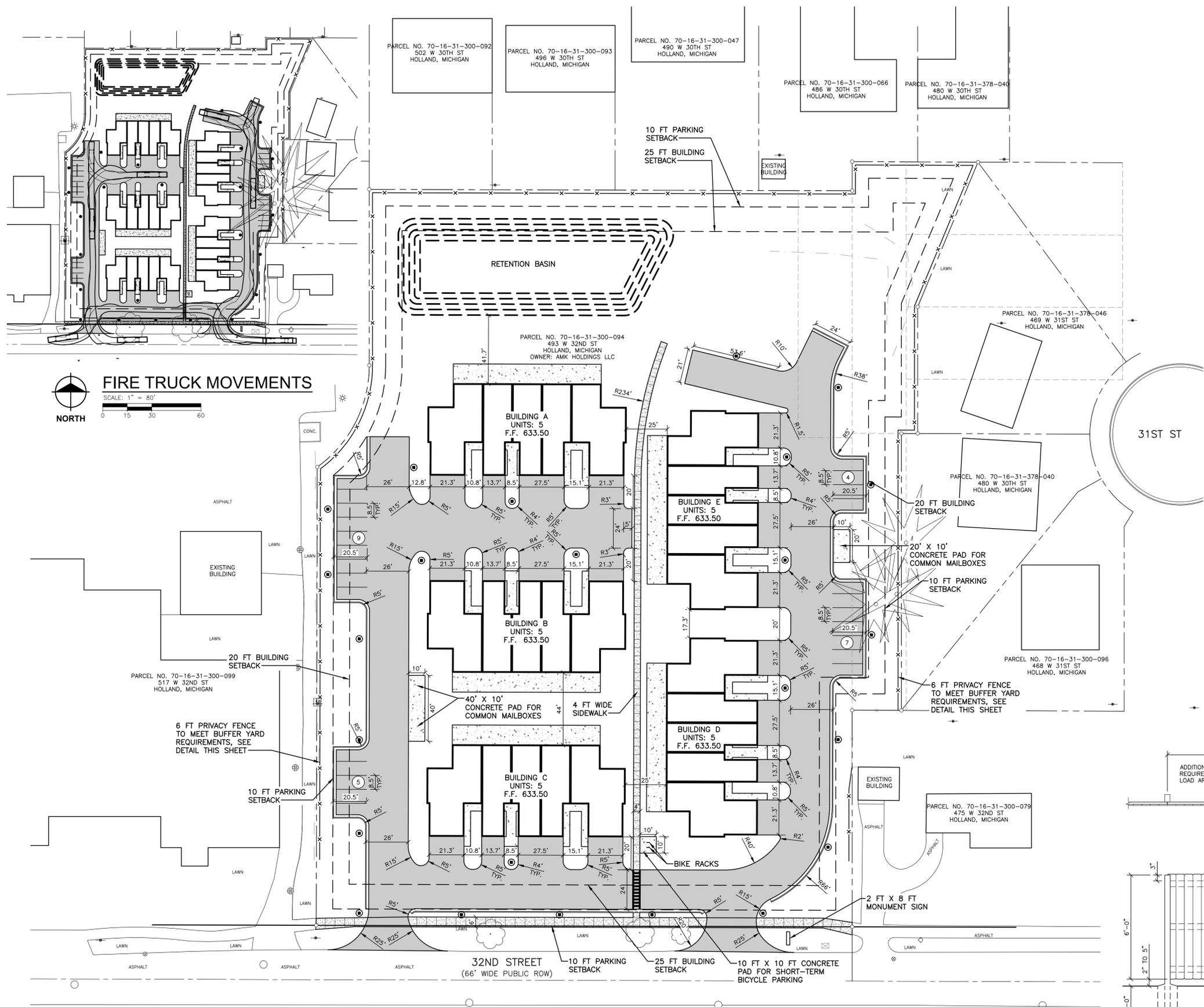
**NOT FOR CONSTRUCTION**

3/17/2026 | SITE PLAN APPROVAL  
Drawn By: SNETZ  
Designer: AWLOSZYK  
Reviewer: DRHOTON  
Manager: BAMCDOWELL

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PROJECT NO.  
**2501289**  
SHEET NO.

**C101**



**SYMBOL LEGEND**

[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	4" THICK CONCRETE SIDEWALK
[Symbol]	EXPANSION JOINT
[Symbol]	STANDARD CURB AND GUTTER
[Symbol]	FLUSH CURB AND GUTTER
[Symbol]	ROLLED CURB
(L)	LANDING (2% MAX. SLOPE ALL DIRECTIONS)
(R)	RAMP (8.33% MAX. RUNNING SLOPE)
(6)	PARKING SPACE COUNT
(●)	SITE LIGHT POLE

- NOTES**
- DIMENSIONS ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
  - KEEP THE APPROVED AND/OR MOST CURRENT SET OF PROJECT DRAWINGS ON SITE AT ALL TIMES. CONTRACTOR TO CONFIRM THEY ARE IN POSSESSION OF THE MOST CURRENT DRAWING FILES.

**PARKING QUANTITIES**

MULTI-FAMILY DWELLING UNITS: 1 SPACE/UNIT

**REQUIRED PARKING:**  
25 UNITS \* 1 SPACE = 25 SPACES (PROVIDED AT GARAGES)

**PROVIDED PARKING:**  
25 GARAGE  
25 STANDARD SPACES  
50 TOTAL SPACES

**SITE ZONING SUMMARY**

PARCEL NO. (70-16-31-300-094)  
PARCEL ADDRESS: 493 W 32ND ST  
ZONING DISTRICT: HIGH DENSITY RESIDENTIAL (HDR)

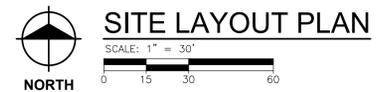
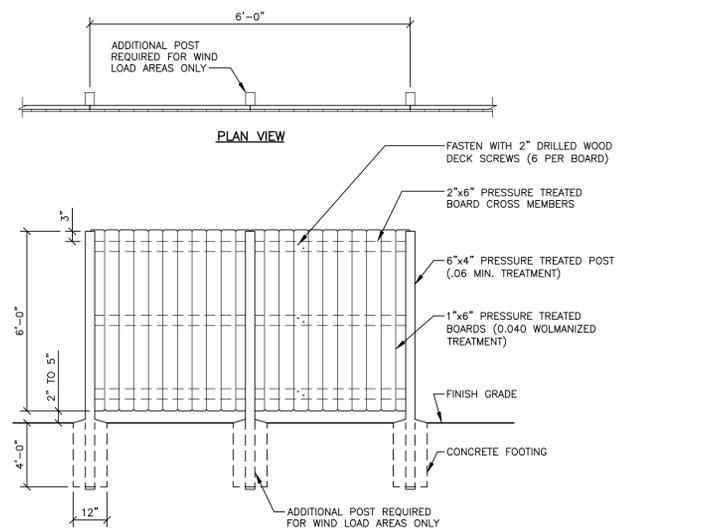
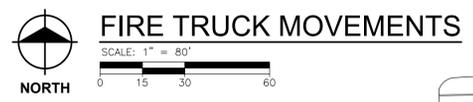
**BUILDING SETBACKS:**  
32ND ST (ROW): 25'  
SIDE: 20'  
REAR: 25'

**LANDSCAPE BUFFER/GREENBELTS:**  
SEE LANDSCAPE PLAN C600.

**IMPERVIOUS COVERAGE**  
PROPOSED IMPERVIOUS AREA = 87,957 SFT  
PROJECT AREA = 167,969 SFT  
% COVERAGE = (87,957/167,969)\*100 = 52.37% < 70.00%

**TRASH & WASTE DISPOSAL:**  
- UNITS TO HAVE INDIVIDUAL REFUSE CONTAINERS

**BYCICLE PARKING:**  
- LONG-TERM PARKING EXEMPT DUE TO PRIVATE GARAGES  
- SHORT-TERM PARKING PROVIDED NORTH OF 32ND STREET NEAR CROSSWALK



**COMMERCIAL WOOD FENCE DETAIL\_B**  
NO SCALE

**NOT FOR CONSTRUCTION**

3/17/2026 | SITE PLAN APPROVAL

Drawn By	SNETZ
Designer	BAMCDOWELL
Reviewer	DRHOTON
Manager	BAMCDOWELL

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PROJECT NO.	2501289
SHEET NO.	

**C201**

**BENCH MARKS**

**BENCH MARK 12** ELEVATION: 631.11 (NAVD88)  
SET NAIL IN NORTHEAST SIDE OF POWER POLE #11588 (0.5' ABOVE GROUND LEVEL), LOCATED 26'± NORTH OF THE CENTER OF 32ND STREET & 38'± WEST OF WEST DRIVE ENTRANCE TO SUBJECT PROPERTY.

**BENCH MARK 13** ELEVATION: 633.38 (NAVD88)  
SET BENCHMARK ON TOP OF FLANGE BOLT TO HYDRANT (UNDER "W" IN EJIW), LOCATED 24'± NORTH OF CENTERLINE 32ND STREET & 112'± EAST OF THE CENTER OF EAST DRIVE ENTRANCE TO SUBJECT PROPERTY.

**SYMBOL LEGEND**

- 725- EXISTING MAJOR CONTOUR
- 724- EXISTING MINOR CONTOUR
- 725-** PROPOSED MAJOR CONTOUR
- 724-** PROPOSED MINOR CONTOUR
- (L) LANDING (2% MAX. SLOPE ALL DIRECTIONS)
- (R) RAMP
- 724.50 XX** SPOT ELEVATION
- EM EDGE OF METAL
- EW EDGE OF WALK
- FF FINISH FLOOR
- GP GUTTER PAN
- GR GRADE ELEVATION
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- TW TOP OF WALL

**NOTES**

1. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO MATCH EDGE OF PAVEMENT.
2. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
4. ADA PARKING AREAS NOT TO EXCEED 2.0% SLOPE IN ALL DIRECTIONS.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.

**REVISIONS**

**NOT FOR CONSTRUCTION**

3/17/2026 SITE PLAN APPROVAL

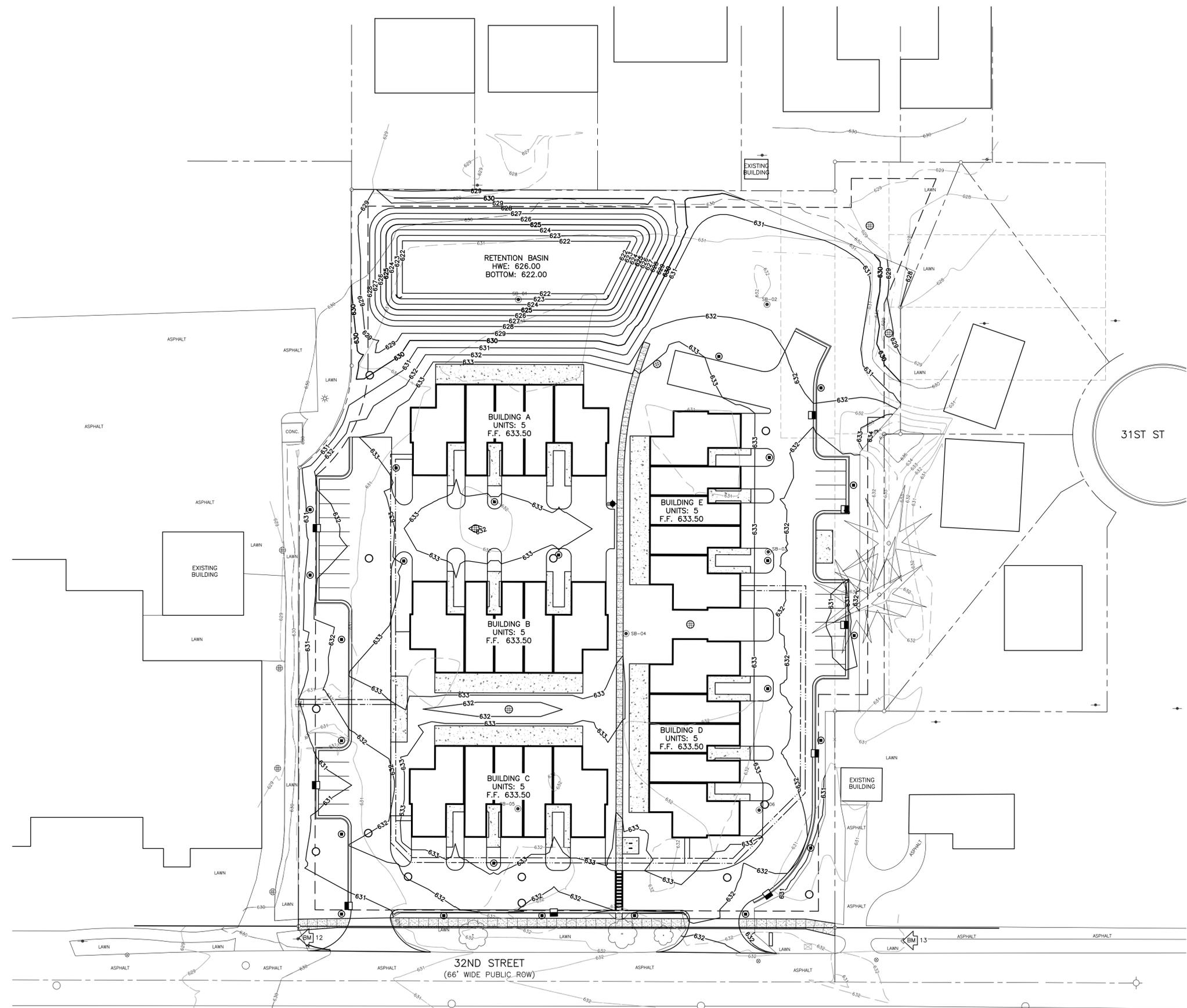
Drawn By SNETZ  
Designer AWOLOSZYK  
Reviewer DRHOTON  
Manager BAMCOWELL

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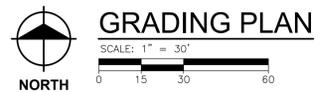
PROJECT NO.  
2501289

SHEET NO.

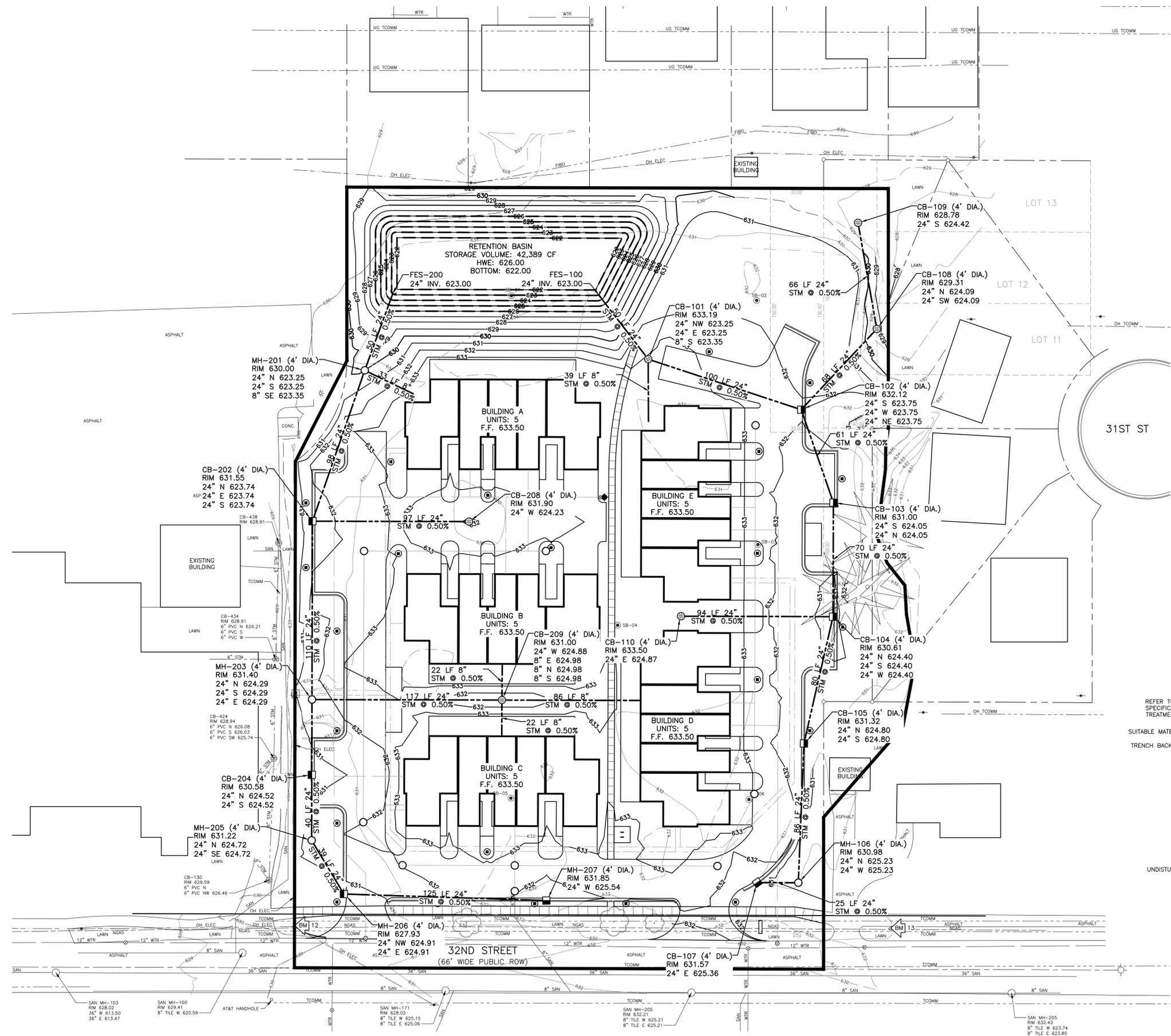
**C301**



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**GRADING PLAN**



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**SYMBOL LEGEND**

- 12" STM STORM SEWER & MANHOLE
- ⊕ CATCH BASIN
- UNDERDRAIN
- ▭ TRIBUTARY DETENTION AREA

**NOTES**

1. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
2. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
3. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
4. DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
5. END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
6. PROVIDE RIPRAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.
7. PROVIDE AND MAINTAIN INLET FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
8. ADJUST ALL CASTINGS TO FINISH GRADES.
9. PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
10. UTILITY ELEVATIONS INDICATED REPRESENT INVERT ELEVATIONS UNLESS OTHERWISE NOTED.

**STORMWATER MANAGEMENT SUMMARY**

THE DESIGN CRITERIA FOR THE DETENTION SYSTEM IS TO DETAIN AT MINIMUM THE 100-YEAR, 24-HOUR STORM EVENT. THE STORM WATER CONVEYANCE SYSTEM FOR DETENTION IS LOCATED ON THE NORTH SIDE OF THE SITE.

**PRE-DEVELOPED CONDITIONS**  
DRAINAGE AREA: 168,024 SF = 3.86 AC  
RUNOFF COEFFICIENT: 0.33

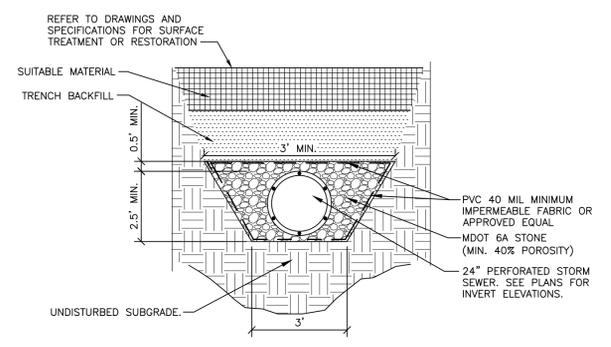
**POST-DEVELOPED CONDITIONS**  
DRAINAGE AREA: 168,024 SF = 3.86 AC  
RUNOFF COEFFICIENT: 0.54  
STORAGE VOLUME REQUIRED: 58,230 CF

POND VOLUME PROVIDED: 42,389 CF  
INFILTRATION TRENCH VOLUME PROVIDED: 16,717 CF  
TOTAL STORAGE VOLUME PROVIDED: 59,105 CF

FIELD INFILTRATION RATE: 3.6 INCHES/HOUR  
DESIGN INFILTRATION RATE: N/A

**REVISIONS**

**NOT FOR CONSTRUCTION**



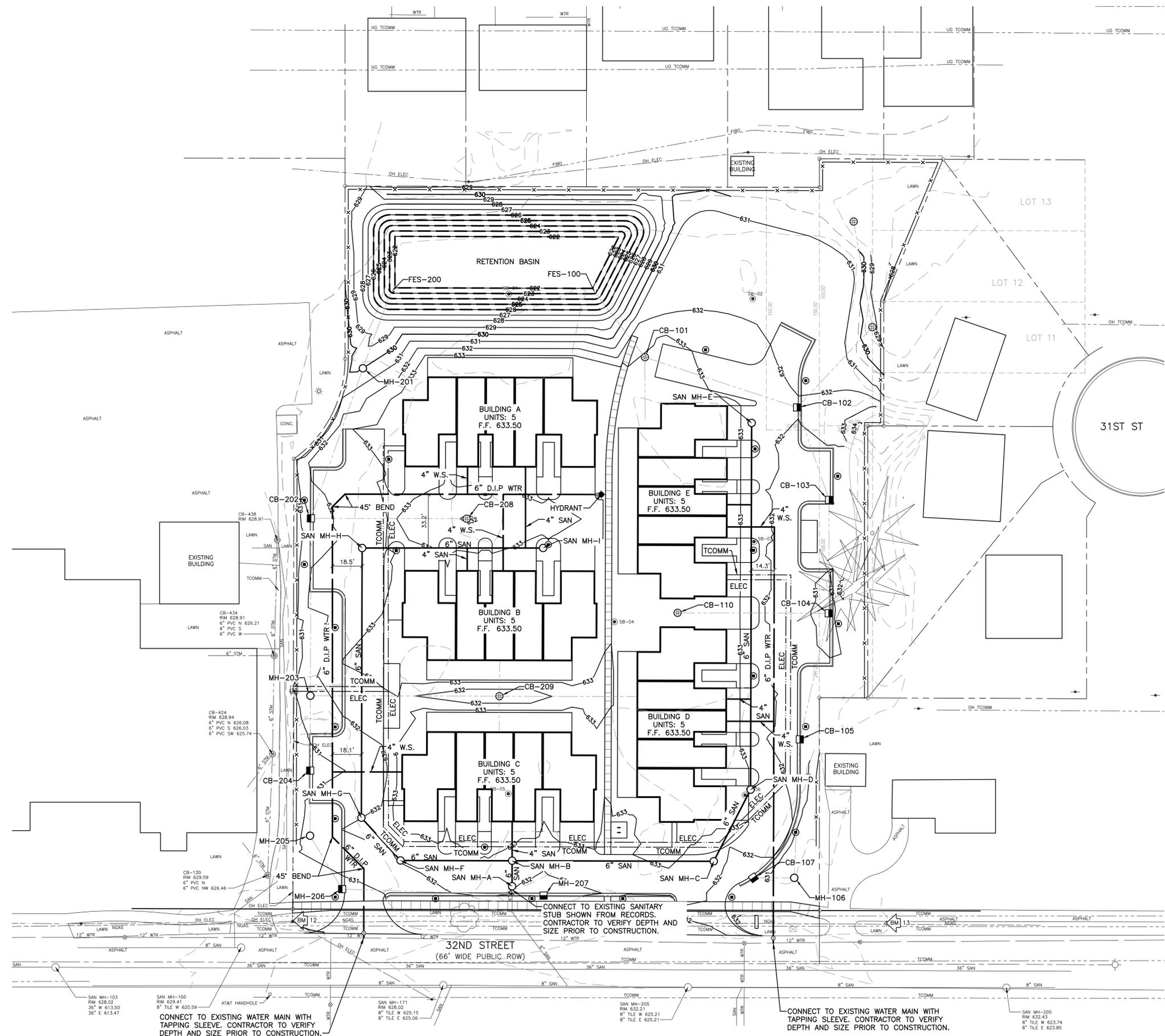
**STORMWATER INFILTRATION TRENCH DETAIL**  
NO SCALE



PLOT INFO: Z:\025\0301286\CAD\C310\_2501286.DWG LAYOUT: C310 DATE: 3/17/2026 TIME: 1:35:32 PM USER: SNETZ

3/17/2026	SITE PLAN APPROVAL
Drawn By	SNETZ
Designer	AWOLOSZYK
Reviewer	DRHOTON
Manager	BAMCOWELL
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PROJECT NO.	2501289
SHEET NO.	

**C310**



**BENCH MARKS**

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**SYMBOL LEGEND**

- 8" SAN SANITARY SEWER & MANHOLE
- WYE & LEAD
- RISER & LEAD
- STANDARD SEWER CLEANOUT
- 12" STM STORM SEWER & MANHOLE
- CATCH BASIN
- UNDERDRAIN
- 8" WTR WATER MAIN
- 4" W.S. WATER SERVICE
- VALVE & BOX
- VALVE & CHAMBER
- METER
- PLUG
- STANDARD FIRE HYDRANT ASSEMBLY
- CURB STOP & BOX
- GAS MAIN
- ELECTRIC
- TELEPHONE/FIBER OPTIC

**NOTES**

1. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
2. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
3. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
4. DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
5. END SECTIONS ARE INCLUDED IN PIPE LENGTHS SHOWN.
6. PROVIDE RIPRAP AT ALL END SECTIONS UNLESS OTHERWISE NOTED.
7. PROVIDE AND MAINTAIN INLET FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
8. WATER MAIN TO HAVE A MINIMUM OF 5.5 FEET OF COVER.
9. FIRE HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
10. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
11. FACE NOZZLES OF SITE FIRE HYDRANTS TOWARD BUILDING.
12. ADJUST ALL CASTINGS TO FINISH GRADES.
13. PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
14. UTILITY ELEVATIONS INDICATED REPRESENT INVERT ELEVATIONS UNLESS OTHERWISE NOTED.

**REVISIONS**

**NOT FOR CONSTRUCTION**

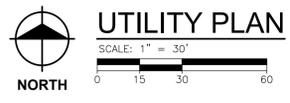
3/17/2026 | SITE PLAN APPROVAL  
Drawn By: SNETZ  
Designer: AWOLOSZYK  
Reviewer: DRHOTON  
Manager: BAMCOWELL

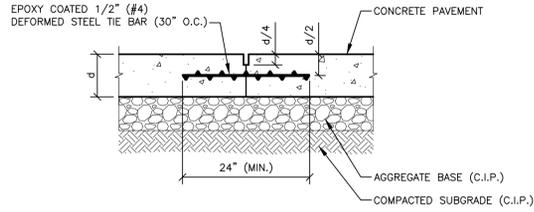
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PROJECT NO.  
2501289  
SHEET NO.

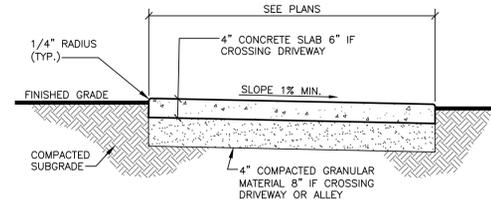
**C401**

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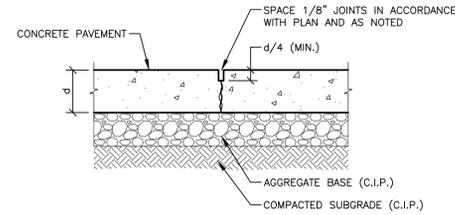




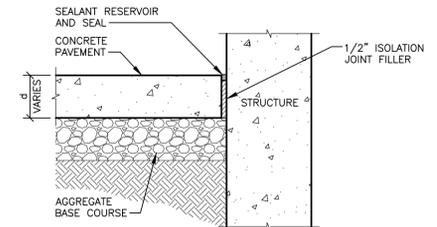
**CONCRETE JOINT (TIED)**  
NO SCALE CP-001



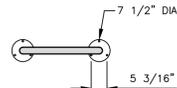
**SIDEWALK DETAIL**  
NO SCALE CP-002



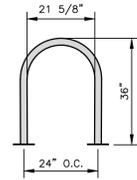
**CONTRACTION JOINT (UNDOWELED)**  
NO SCALE CP-006



**CONCRETE PAVEMENT EDGE AT STRUCTURE**  
NO SCALE CP-007



TOP VIEW



FRONT VIEW

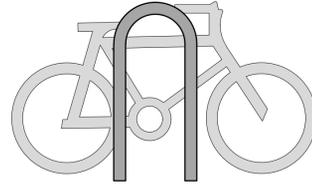
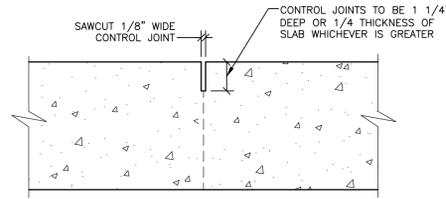


FIGURE 1

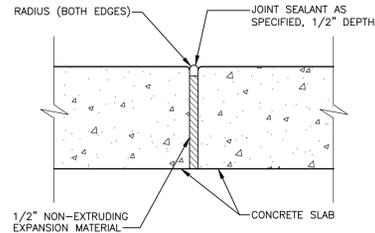
**MATERIALS LIST:**

1. TUBING-2 3/8" DIA.x.154" WALL STAINLESS STEEL TUBING.
2. SURFACE PLATE-7 1/2"x1/4" THICK STAINLESS STEEL PLATE WITH (3) 9/16" MOUNTING HOLES.
3. MOUNT WITH (6) 1/2"x4" STAINLESS STEEL EPOXY ANCHOR BOLTS (CUSTOMER SUPPLIED).

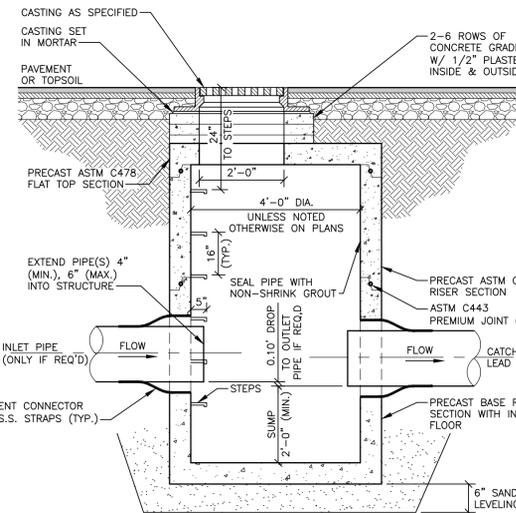
**INVERTED "U" BICYCLE RACK**  
NO SCALE SM-011



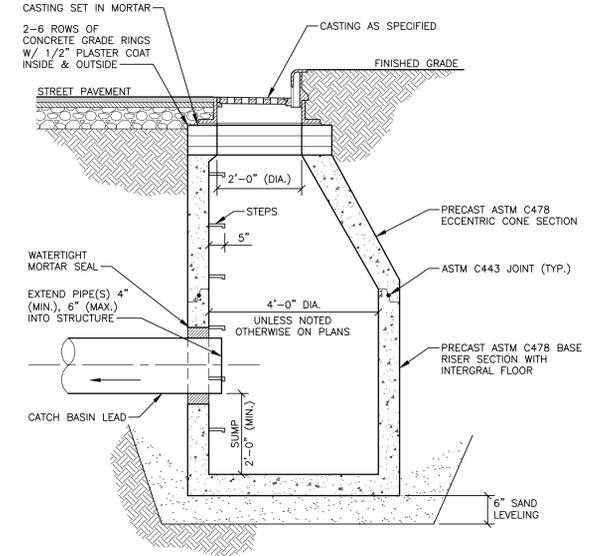
**CONTROL JOINT SECTION**  
NO SCALE CP-004



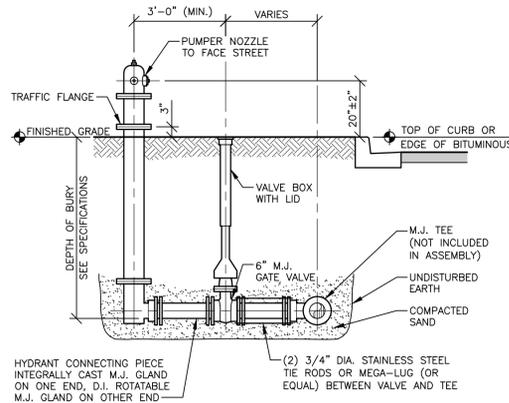
**ISOLATION (EXPANSION) JOINT SECTION**  
NO SCALE CP-005



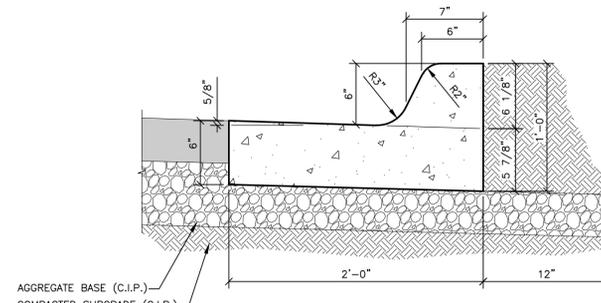
**STANDARD CATCH BASIN**  
NO SCALE ST-001



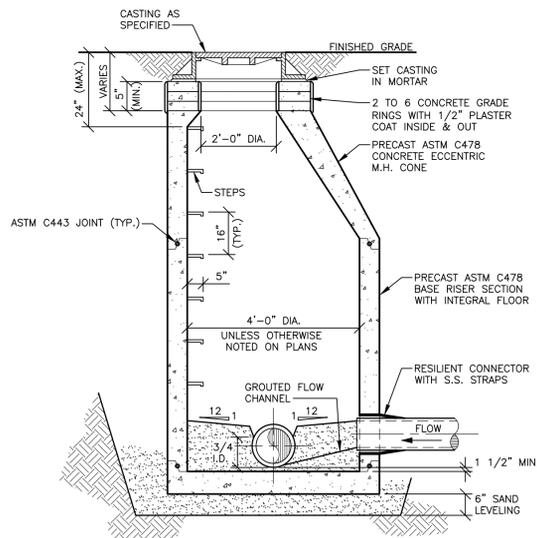
**CURB CATCH BASIN**  
NO SCALE ST-002



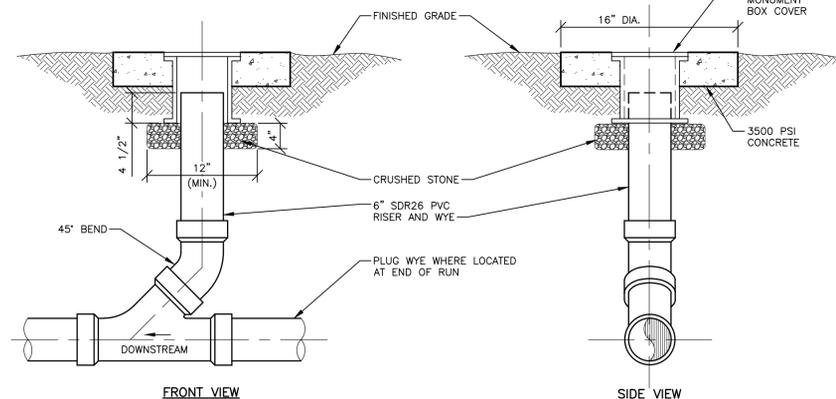
**STANDARD HYDRANT ASSEMBLY**  
NO SCALE WH-001



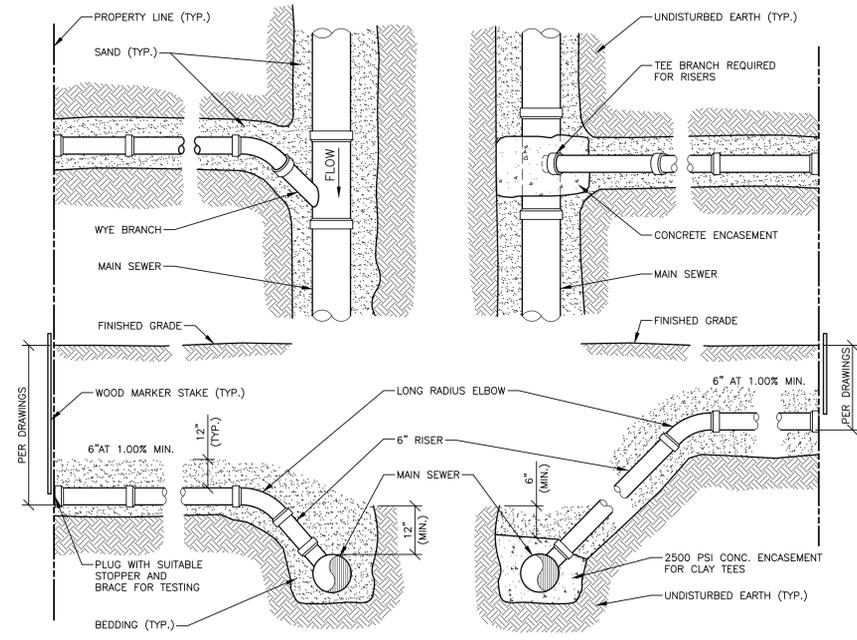
**STANDARD CROWN CURB & GUTTER**  
NO SCALE CG-001



**STANDARD MANHOLE**  
NO SCALE SC-001



**PVC SEWER CLEANOUT**  
NO SCALE SS-003



**SANITARY LEAD CONNECTION DETAIL**  
NO SCALE SS-002

PLT: I:\P\Z\2025\2501288\CAD\C501\_2501288.DWG LAYOUT: C501 DATE: 3/17/2026 TIME: 1:36:32 PM USER: SNETZ

REVISIONS

**NOT FOR CONSTRUCTION**

3/17/2026 SITE PLAN APPROVAL

Drawn By SNETZ  
Designer AWOLOSZYK  
Reviewer DRHOTON  
Manager BAMCOWELL

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

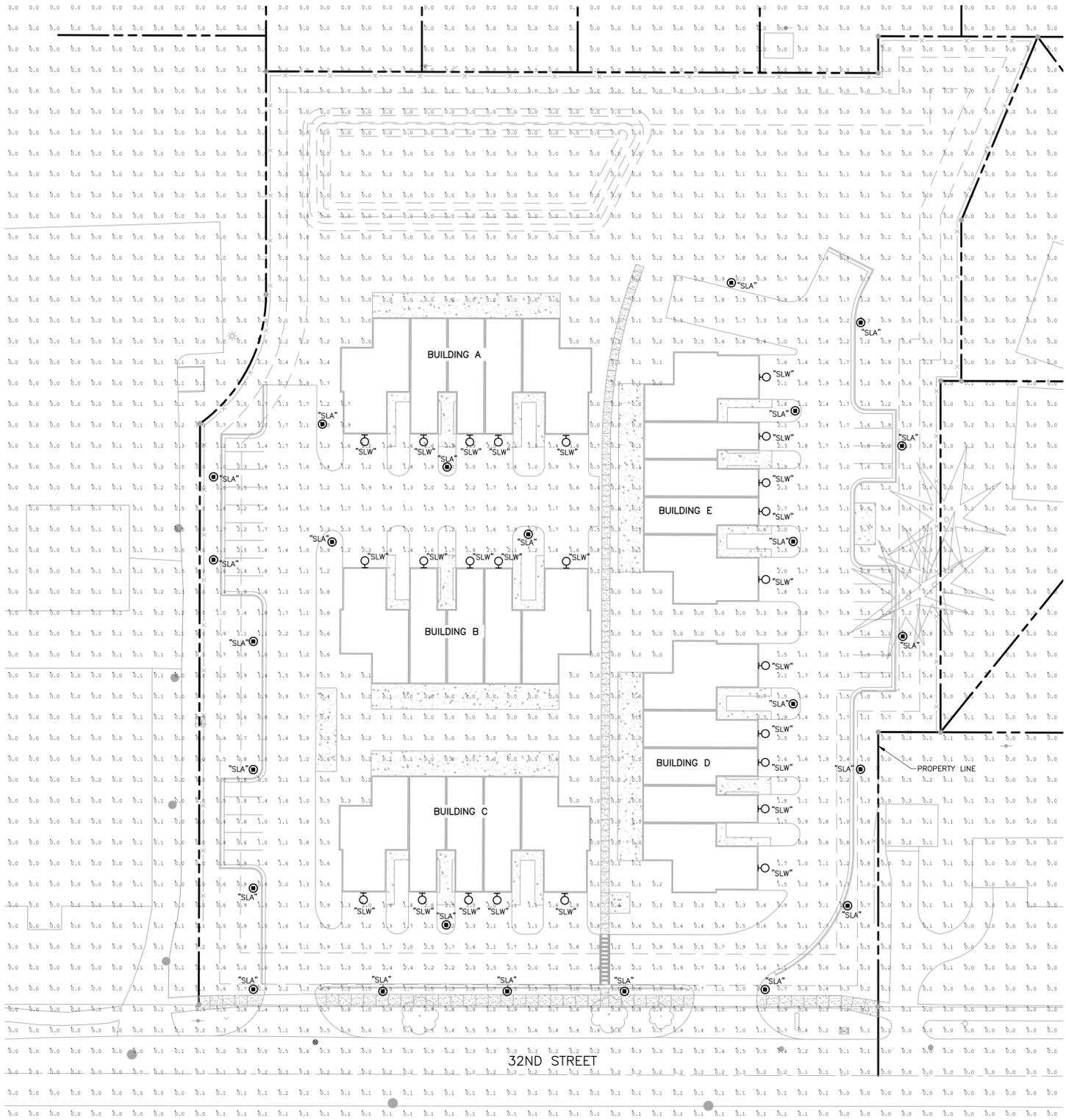
PROJECT NO.  
2501289

SHEET NO.

**C501**

**SYMBOL LEGEND**

- ⊙ POST TOP AREA LIGHT
- WALL MOUNTED LIGHT



**SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 30'  
0 15 30 60

CITY OF HOLLAND – ZONING ORDINANCE REQUIREMENTS		
DESCRIPTION	REQUIREMENT	DESIGN
MAXIMUM POLE HEIGHT	20'	14'
MAXIMUM COLOR TEMPERATURE	4000K	3000K
MAXIMUM LIGHT LEVEL ON SITE (FOOT-CANDLES)	15.0 FC	3.0 FC
MAXIMUM LIGHT LEVEL AT PROPERTY LINE (FOOT-CANDLES)	0.5 FC	0.3 FC
MAXIMUM LIGHT ALLOWED ABOVE 90-DEGREE ANGLE FOR DECORATIVE POST TOP LIGHTING	18%	10%

LUMINAIRE SCHEDULE									
MARK	DESCRIPTION	MANUFACTURER	CATALOG NO.	LUMINAIRE DATA				REMARKS	
				VOLTAGE	LOAD	LUMENS	CCT		CRI
SLA	LED DECORATIVE POST TOP LIGHT FIXTURE ON 14' POLE, TYPE 3 DISTRIBUTION	CYCLONE	CC11T4A-GCAP-T3M-P60-30K-MVOLT-10KV	120	75	4984 lm	3000K	70	-
SLW	LED DECORATIVE WALL MOUNTED LIGHT FIXTURE	VISUAL COMFORT & CO.	SLO1001TXB-L1	120	9 VA	800 lm	2700K	90	MOUNT FIXTURE AT 10°-0" AFG.

REVISIONS

**NOT FOR CONSTRUCTION**

3/17/2026 | SITE PLAN APPROVAL

Drawn By: ACFOLEY  
Designer: ACFOLEY  
Reviewer: JAMILOCH  
Manager: BAMCOWELL

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

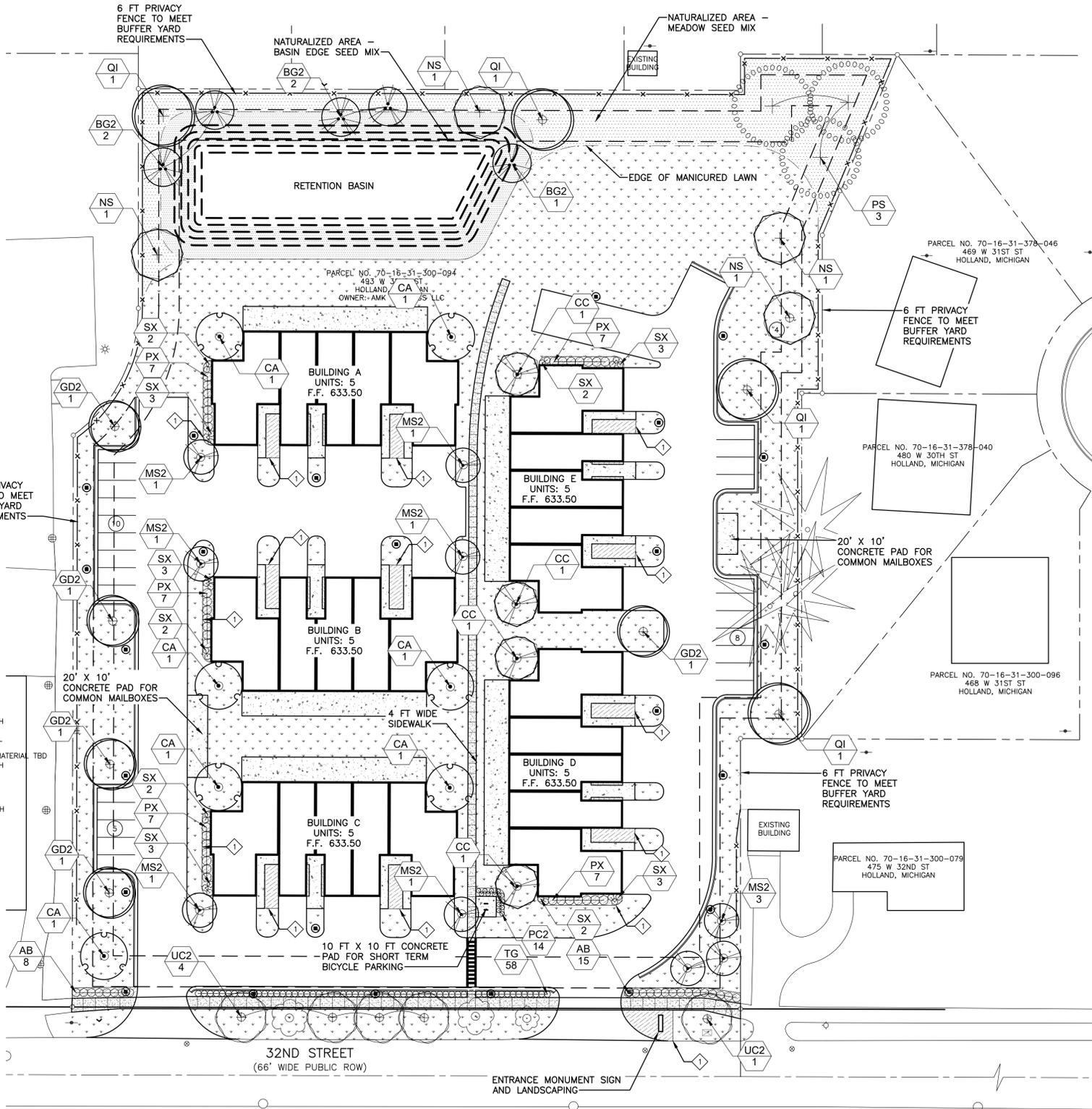
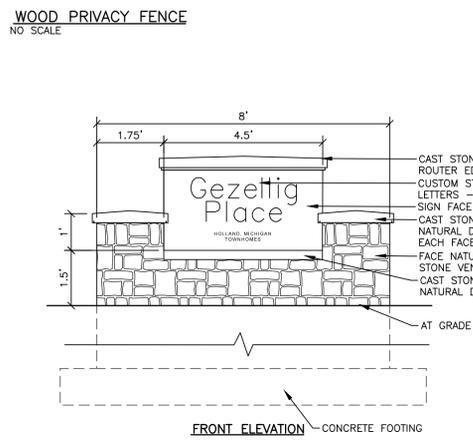
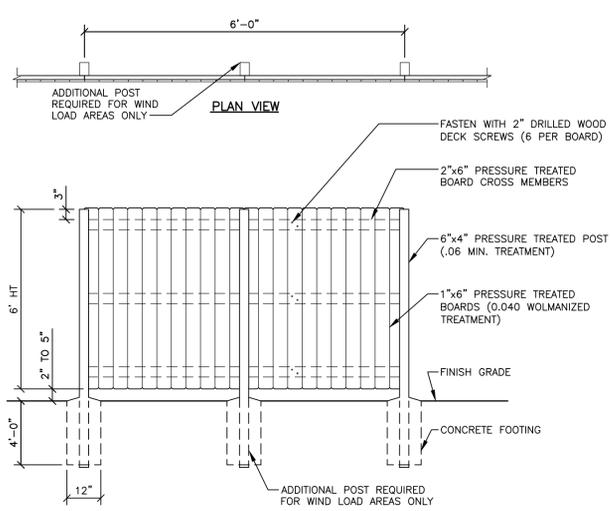
PROJECT NO.  
2501289

SHEET NO.

**C801**

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
<b>TREES</b>					
BG2	5	BETULA NIGRA 'CULLY IMPROVED' / HERITAGE® IMPROVED RIVER BIRCH	B & B	8' HT	MULTI STEM - 3-5 STEMS
CA	7	CERCIS CANADENSIS 'APPALACHIAN RED' / APPALACHIAN RED EASTERN REDBUD	B & B	8' HT	MULTI STEM - 3-5 STEMS
CC	4	CORNUS FLORIDA 'CHEROKEE BRAVE' / CHEROKEE BRAVE DOGWOOD	B & B	2" CAL	
GD2	5	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL	6' BRANCH HT MIN.
MS2	9	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	B & B	2.5" CAL	
NS	4	NYSSA SYLVATICA / TUPELO	B & B	2.5" CAL	
PS	3	PINUS STROBUS / WHITE PINE	B & B	2.5" CAL	6' BRANCH HT MIN.
QI	4	QUERCUS IMBRICARIA / SHINGLE OAK	B & B	2.5" CAL	6' BRANCH HT MIN.
UC2	5	ULMUS X 'FRONTIER' / FRONTIER ELM	B & B	2.5" CAL	6' BRANCH HT MIN.
<b>SHRUBS</b>					
AB	23	ARONIA MELANOCARPA 'UCONNAM166' / LOW SCAPE HEDGER® BLACK CHOKEBERRY	5 GAL		
BB	20	BAPTISIA X 'BLUEBERRY SUNDAE' / DECADE® BLUEBERRY SUNDAE WILD INDIGO	5 GAL		
CK	68	CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD	2 GAL		
PX	35	DIERVILLA X 'G2X885411' / KODIAK® RED DIERVILLA	5 GAL		
FB	126	FESTUCA GLAUCA 'BLUE WHISKERS' / BLUE WHISKERS BLUE FESCUE	1 GAL		
HR	113	HEMEROCALLIS X 'ROSY RETURNS' / ROSY RETURNS DAYLILY	1 GAL		
IS2	24	ITEA VIRGINICA 'SPRICH' / LITTLE HENRY® SWEETSPIRE	1 GAL		
NX	42	NEPETA X FAASSENII 'CATS MEOW' / CATS MEOW CATMINT	1 GAL		
PC2	14	PANNICUM VIRGATUM 'CHEYENNE SKY' / CHEYENNE SKY PRAIRIE WINDS	1 GAL		
PB	48	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF SWITCHGRASS	1 GAL		
SP	18	FOUNTAIN GRASS	3 GAL		
SX	25	SPIRAEA JAPONICA 'SMNSJMF' / DOUBLE PLAY® PINK SPIREA	5 GAL		
TG	58	SYRINGA X 'SMNSPTP' / BLOOMERANG® PURPINK LILAC	5 GAL		
		TAXUS X MEDIA 'SMNTHDB' / STONEHENGE DARK DRUID	5 GAL		



SYMBOL LEGEND

- (A) LANDSCAPE ZONING REQUIREMENT TYPE
- PERENNIALS & SHRUBS 1-2.5' PLANT HT
- PERENNIALS & SHRUBS 2.5-4' PLANT HT
- EVERGREEN SHRUBS GREATER THAN 3' PLANT HT
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHADE TREE
- LANDSCAPE BED WITH 3" OF HARDWOOD MULCH - WITH PERENNIALS AND SHRUBS
- MANICURED LAWN AREA
- NATURALIZED AREA - MEADOW SEED MIX AND DETENTION BASIN EDGE MIX

NOTES

- REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS TO THE CONSTRUCTION MANAGER FOR RESOLUTION.
- FURNISH AND INSTALL 24" OF FURNISHED MODIFIED TOPSOIL FOR ALL PARKING LOT ISLAND BEDS, UNLESS OTHERWISE NOTED, WITH A PH 7.0 THAT CONTAINS ALL THE MICROORGANISMS NECESSARY FOR HEALTHY PLANT GROWTH. THE CONTRACTOR SHALL PROVIDE SOIL SAMPLE AND SUPPLIER TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY.
- FURNISH AND INSTALL 3" OF SHREDDED HARDWOOD MULCH TO ALL PLANT BEDS AND TREE INSTALLATIONS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL IRRIGATION INSTALLATION.
- ALL TREES SHOULD HAVE A STRONG CENTRAL LEADER UNLESS NOTED OTHERWISE. NO TREES WITH CIRCLING ROOTS SHALL BE ACCEPTED.
- ALL NURSERY STOCK SHALL BE FIRST CLASS QUALITY AND IN EXCELLENT HEALTH. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ALL MATERIALS THAT DO NOT MEET THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.
- ALL NURSERY STOCK MATERIAL SHALL MEET ALL REQUIREMENTS OF THE SPECIFICATIONS.
- MAINTAIN 5' CLEARANCE FOR ALL TREES FROM MAJOR WATER, ELECTRIC, GAS, AND SEWER LINES. REPORT DISCREPANCIES WITH THE CONSTRUCTION MANAGER.
- ANY LANDSCAPE MATERIAL THAT FAILS WITHIN ONE YEAR FROM THE SUBSTANTIAL DATE OF COMPLETION INCLUDING AT LEAST ONE FULL GROWING SEASON, SHALL BE REMOVED AND REPLACED.

KEY NOTES

- ALUMINUM LANDSCAPE EDGING

IRRIGATION NOTES

- SITE IRRIGATION NOTES:
- ALL PLANT BEDS SHALL HAVE DRIP IRRIGATION, SEE IRRIGATION PLAN.

LAWN RESTORATION- SEED MIX

COMMON NAME	PROPT	BY WT	PURITY %	GERMINATION
KENTUCKY BLUEGRASS	20%		95%	85%
IMPROVED TURF-TYPE	70%		95%	85%
TALL FESCUE				
PERENNIAL RYEGRASS	10%		95%	85%

PARKING QUANTITIES

ZONE:	HDR	HIGH DENSITY RESIDENTIAL
ADJACENT ZONES:	MDR	NORTH/EAST
	LDR	SOUTH WEST

- PARKING LANDSCAPING**
- 1 TREE PER 20 SPACES WITH GROUNDCOVER
  - BUILDING PERIMETER LANDSCAPING ON WALLS FACING ROADWAYS OR PARKING LOT
  - PARKING PERIMETER LANDSCAPING 1 SFT FOR EVERY 20SFT OF PAVEMENT

- SIDE YARD LANDSCAPING BUFFER**
- 6' WALL BETWEEN MULTIFAMILY TO LOW DENSITY FAMILY

- REPLACEMENT TREES**
- 1 TREE PER 5 REMOVED
  - 3" DBH FOR DECIDUOUS TREES
  - 10' HIGH FOR EVERGREEN TREES

- STREET TREES**
- 1 TREE PER 30' OF ROW

IRRIGATION IS REQUIRED

- BIKE PARKING**
- 1 PER DWELLING UNIT FOR 5+ MULTIFAMILY
  - 2' WIDE, 6' LONG



**AMK Properties**  
493 32nd Street, Holland, MI 49423  
Gezellig Place

REVISIONS

**NOT FOR CONSTRUCTION**

3/17/2026 | SITE PLAN APPROVAL

Drawn By SCURTIS  
Designer SCURTIS  
Reviewer DRHOTON  
Manager BAMCDOWELL

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.  
**2501289**

SHEET NO.

**L101**

# AMK PROPERTIES - HOLLAND MULTIFAMILY DEVELOPMENT

493 West 32nd Street, Holland, MI 48423

**DANIEL  
BOGGS  
ARCHITECT**

**ARCHITECTURE  
&  
PLANNING**

26143 EAST RIVER ROAD  
GROSSE ILE, MI 48138  
248.882.3642

**PROJECT:**  
Holland Multifamily  
Development  
493 W 32nd Street  
Holland, MI 48423

**PROFESSIONAL SEAL:**

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**ISSUED:**  
03-13-26 Client Review  
03-13-26 Revision  
03-17-26 PC Review

**PROJECT NO:**  
2025.19

**DRAWN BY:**  
DWB

These drawings have been specifically prepared for AMK Properties for use at 493 W 32nd Street Holland, MI 48423. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.

**SHEET TITLE:**  
Architectural Title  
Sheet

**SHEET NO:**

**A-T**



**SOUTHWEST ELEVATED PERSPECTIVE**



**FRONT ENTRY PERSPECTIVE**

DRAWING INDEX			
DWG NO.	Drawing Title	Issuance	Date
ARCHITECTURAL			
A-T	Architectural Title Sheet	PC Review	03-17-26
A-1	First Floor Plan	PC Review	03-17-26
A-2	Second Floor Plan	PC Review	03-17-26
A-3	Exterior Elevations	PC Review	03-17-26
A-4	Exterior Elevations	PC Review	03-17-26
ARCHITECTURAL: 5			
TOTAL DRAWINGS: 5			



**NORTHEAST PERSPECTIVE**



**SOUTHEAST PERSPECTIVE**



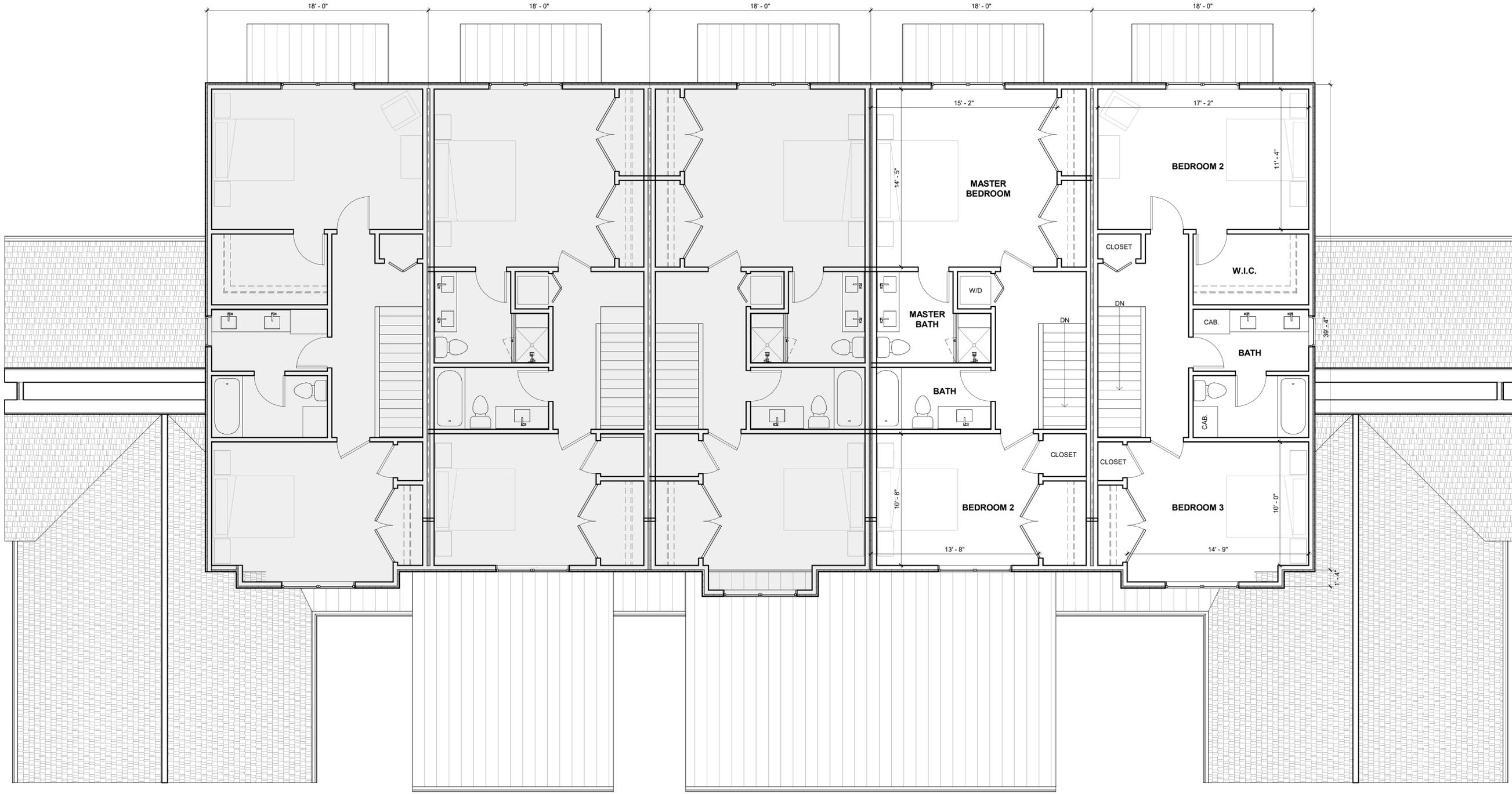
**1 FIRST FLOOR PLAN**  
A-1 SCALE: 1/4" = 1'-0"

**Area Schedule (Gross Building)**

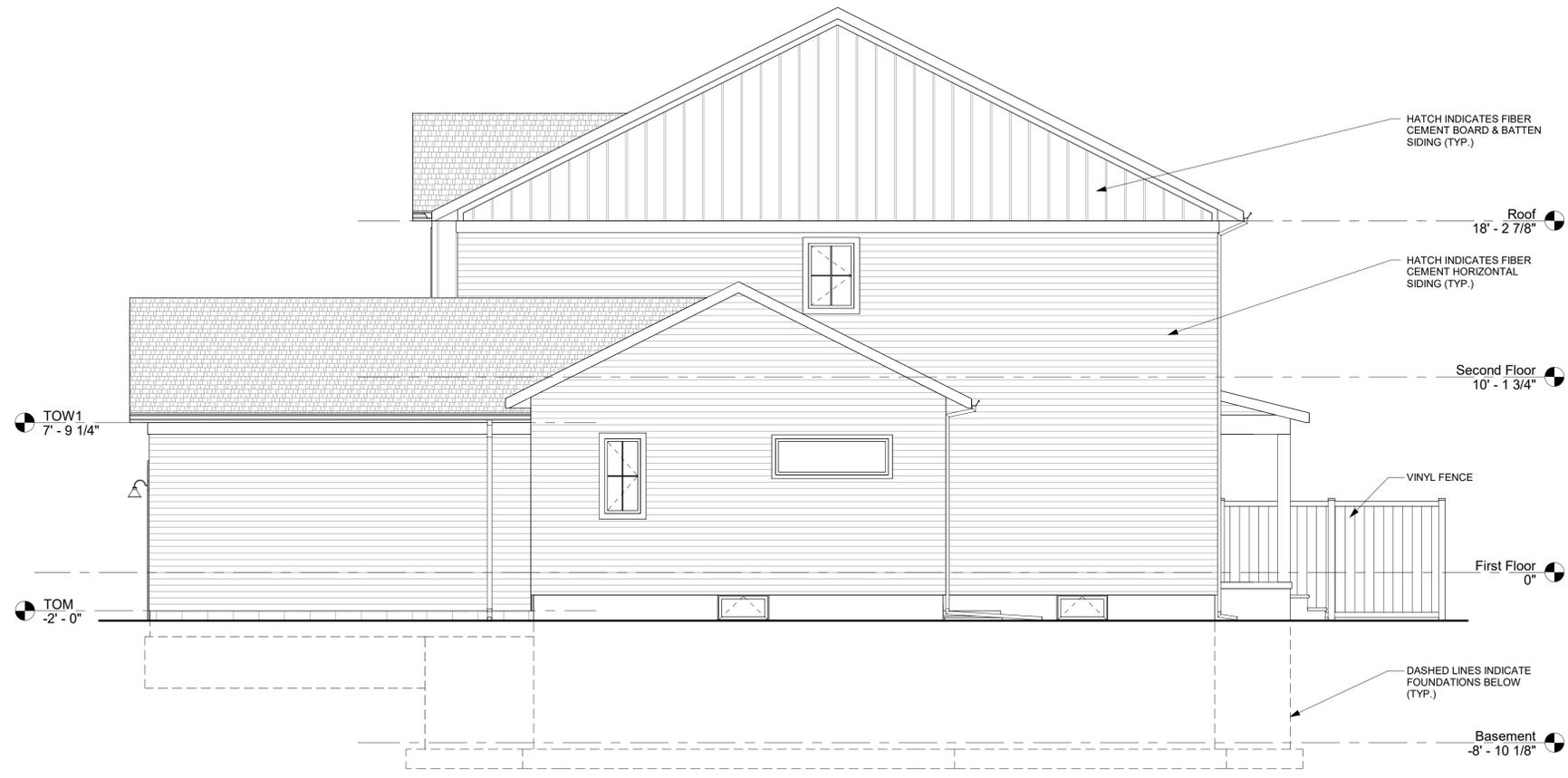
2 Bedroom	
2 Bedroom First Floor	640 SF
2 Bedroom Second Floor	713 SF
	1,353 SF
3 Bedroom	
3 Bedroom First Floor	974 SF
3 Bedroom Second Floor	719 SF
	1,693 SF

**Area Schedule (Usable Floor Area)**

2 Bedroom	
2 Bedroom First Floor	592 SF
2 Bedroom Second Floor	658 SF
	1,250 SF
3 Bedroom	
3 Bedroom First Floor	911 SF
3 Bedroom Second Floor	678 SF
	1,589 SF



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"